



Statutory Planning Committee

Notice is hereby given the next meeting of the Statutory Planning Committee will be:

Meeting No. 7615

Monday, 10 June, 2019, 9:30 am

Level 3, Room 3.23, 140 William Street, Perth

This meeting is not open to members of the public

1.	Declaration of opening	
2.	Apologies	
3.	Members on leave of absence and applications for leave of absence	
4.	Disclosure of interests	
5.	Declaration of due consideration	
6.	Minutes	
6.1	Confirmation of minutes - Meeting No. 7614 on Tuesday, 28 May 2019	9 - 23
7.	Deputations and presentations	
8.	Statutory items for decision	
8.1	Development Application - Shed - Lot 50 (No. 25) Arthur Street, Caversham	24 - 32
8.2	Development Application - Shed - Lot 22 Railway Parade, Belhus	33 - 43
8.3	Development Application - Shed and Outbuilding - Lot 215 William Street, Herne Hill	44 - 57
9.	Confidential items	
9.1	Amendment No. 96 - City of Kalgoorlie-Boulder Local Planning Scheme No. 1 - For Final Approval	
9.2	Amendment No. 97 - City of Kalgoorlie-Boulder Local Planning Scheme No. 1 - For Final Approval	
9.3	Amendment No. 20 - Albany Local Planning Scheme No. 1	
9.4	Section 31 reconsideration - Lots 18, 19, 20 and 21 Emerald Court and Singleton Beach Road, Singleton	
10.	Reports for noting	
11.	Stakeholder engagement and site visits	
12.	Urgent or other business	
13.	Items for consideration at a future meeting	

14. Meeting closure

WAPC STRATEGIC PLAN 2018-2021

OUR VISION:
Creating better places to live and work for all Western Australians

OUR MISSION:

Ensuring the planning system develops policy and enables planning decisions for the long-term benefit of the Western Australian community

Our Functions	Our Focus	Our Priorities	Our Outcomes
<ul style="list-style-type: none"> • State Planning Strategy and Policy • Regional, Sub-Regional and Local Planning Strategies • Regional and Local Planning Schemes • Planning and Development Applications – Subdivision and Strata Title • Structure Planning • Improvement Plans & Schemes • Infrastructure Planning and Coordination • Research, Modelling & Analysis • Improve the Planning System • Finance & Property Management 	Jobs and infrastructure Liveable Communities A Better Built Environment Transparent, Equitable and Efficient Planning Processes Environment and Natural Resources Land and Finance Management	<ul style="list-style-type: none"> • Facilitate economic diversification and development • Support development of a State Infrastructure Strategy • Deliver a planning system and processes adapted for technological change in the community and economy • Support delivery of METRONET through the planning system as part of a whole-of-government approach <ul style="list-style-type: none"> • Facilitate infill development and sustainable urban growth • Address barriers to affordable living and housing diversity through policy leadership <ul style="list-style-type: none"> • Lead precinct planning to enable METRONET • Develop a policy and decision-making framework to encourage greater housing options for changing demographic needs • Promote and protect the urban tree canopy for all communities for amenity and health benefits <ul style="list-style-type: none"> • Continued review and reform of the planning system and processes • Greater early, effective and genuine communication and engagement with the community and industry on planning and development issues • Improve collaboration and capability of all key decision-makers in the planning system, including local government • Implement technological improvements including quality online reporting on planning performance for all WAPC functions <ul style="list-style-type: none"> • Continue the Coastal Management and Planning Program to deal with the risks posed by climate change • Ensure bushfire regulations reflect planning appropriate for the risk to community and the environment <ul style="list-style-type: none"> • Contribute to the successful delivery of METRONET through strategic, efficient and innovative use of the Metropolitan Region Improvement Fund • Ensure WAPC land and property assets are used for long-term community benefit 	<ul style="list-style-type: none"> • Sufficient urban, commercial, industrial and priority agricultural land for growth • Long-term strategic industry, infrastructure planning and corridor protection • Strong industry and employment hubs with particular emphasis on tourism, food and agriculture, education, research and technology • Alignment and integration of land use, infrastructure and transport planning <ul style="list-style-type: none"> • Increased density and diversity around Activity Centres • Achieve infill housing and density targets and greater housing choice • Enable creation of liveable cities and towns with quality public and private spaces <ul style="list-style-type: none"> • Improved design of urban centres, corridors and stations • Improved design quality of the built environment • Greater community support for more diverse housing options, urban centres, corridors and stations • Protection and enhancement of the urban tree canopy across diverse communities <ul style="list-style-type: none"> • Efficient, transparent and timely assessment and decisions on planning applications and processes • Contemporary region and local planning strategies, schemes and regulations • Improved transparency, efficiency and community support for planning processes • Updated and effective <i>Planning and Development Act 2005</i> and regulations <ul style="list-style-type: none"> • Sustainable development which protects, conserves and promotes natural assets (land and water) and biodiversity • A planning system which addresses climate change • Planning to mitigate risks from natural hazards and events <ul style="list-style-type: none"> • WAPC land management in place to deliver METRONET • Effective and sustainable stewardship and management of the Metropolitan Region Improvement Fund • Increased regional open space in Greater Perth

STATE PLANNING STRATEGY PRINCIPLES:

Community
Enable diverse, affordable, accessible and safe communities

Economy
Facilitate trade, investment, innovation, employment and community betterment

Environment
Conserve the State's natural assets through sustainable development

Infrastructure
Ensure infrastructure supports development

Regional Development
Build the competitive and collaborative advantages of the regions

Governance
Build community confidence in development processes and practices

Information for SPC Members

Quorum: 5 of 9 members

Member	Representation in accordance with the <i>Planning and Development Act 2005</i>	Term of office ends
Mr David CADDY	Chairman, WAPC Schedule 2 clause 4(2)(a)	15/04/2021
Ms Sue BURROWS	Nominee of the Director General, Department of Planning, Lands and Heritage Schedule 2 clause 4(2)(b)	Current Nominee
Ms Paddi CREEVEY OAM	Nominee of the Regional Minister Schedule 2 clause 4(3)	Current Nominee
Ms Kym DAVIS	Community representative Schedule 2 clause 4(2)(d)	31/12/2020
Ms Marion THOMPSON	Professions representative Schedule 2 clause 4(2)(e)	31/12/2020
Mr Leonard KOSOVA	Local government representative Schedule 2 clause 4(2)(f)	31/12/2020
Ms Megan ADAIR	WAPC appointee Schedule 2 clause 4(2)(g)	31/12/2020
Mr Lino IACOMELLA	WAPC appointee Schedule 2 clause 4(2)(g)	31/12/2020
Ms Nina LYHNE	WAPC appointee Schedule 2 clause 4(2)(g)	31/12/2020
Mr Ross THORNTON	WAPC appointee Schedule 2 clause 4(2)(g)	31/12/2019

Role:

The Statutory Planning Committee is one of four committees set up by the WAPC on 1 March 1995 upon proclamation of the *Planning Legislation Amendment Act (No. 2) 1994*.

Schedule 2(4)(4) of the *Planning and Development Act 2005* (PD Act)

The Statutory Planning Committee is the WAPC's regulatory decision-making body and performs such of the functions of the WAPC under the *Planning and Development Act 2005* and Part II of the *Strata Titles Act 1985* as are delegated to the Statutory Planning Committee under section 16 and such other functions as are delegated to it under that section. These functions include approval of the subdivision of land, approval of leases and licenses, approval of strata schemes, advice to the Minister for Planning on local planning schemes and scheme amendments, and the determination of certain development applications under the Metropolitan Region Scheme.

Membership (extract from PD Act):

The composition of the Statutory Planning Committee is in accordance with Schedule 2(4) of the *Planning and Development Act 2005*.

4. Statutory Planning Committee

- (1) The Commission is to establish a committee to be known as the Statutory Planning Committee.
- (2) Subject to subclause (5), the Statutory Planning Committee is to consist of —
 - (a) the chairperson, or a person nominated by that person and approved by the Minister; and
 - (b) the chief executive officer, or a person nominated by that person and approved by the Minister; and
 - (c) the member of the board referred to in section 10(1)◎(viii) or a deputy appointed under subclause (3); and

- (d) a person approved by the Minister and appointed to the Commission as having practical knowledge of and experience in community affairs; and
- (e) a person approved by the Minister and appointed by the Commission as having practical knowledge of and experience in one or more of the fields of urban and regional planning, commerce and industry, engineering, surveying, valuation, transport, housing, heritage, environmental conservation, natural resource management, urban design, the planning and provision of community services or infrastructure; and
- (f) a person approved by the Minister and appointed by the Commission to represent the interests of local governments; and
- (g) such other person or persons as the Commission, after obtaining the approval of the Minister, appoints from time to time.

Delegated Authority (Del 2009/05) Powers of Committee

Planning and Development Act 2005 Section 16(1)

- 2.1 Power to determine applications for approval to commence and carry out development lodged with or referred to the WAPC pursuant to the provisions of a region scheme.
- 2.2 Power to approve detailed plans requiring the subsequent approval of the WAPC as a condition of development approval pursuant to the provisions of a region scheme and power to confirm that conditions imposed by the WAPC on a development approval pursuant to the provisions of a region scheme have been complied with.
- 2.3 Power to determine whether or not proposals and the ongoing implementation of a region scheme comply with conditions (if any) applied pursuant to sections 48F and 48J of the *Environmental Protection Act 1986*.
- 2.4 Power to determine whether or not applications to commence and carry out development are of State or regional importance, or in the public interest, pursuant to any resolution of the WAPC made under a region scheme requiring such determination.
- 2.5 Power to request the Minister for Planning to approve the WAPC disregarding the advice of the Swan River Trust in whole or in part in relation to the approval of development of land within the Riverbank or Development Control Area as defined under the *Swan and Canning Rivers Management Act 2006* where the determining authority is the WAPC.
- 2.6 All functions of the WAPC as set out in -
 - (i) Sections 14(a), 14(c), 34, 97, 98, 100, 104, 105, 106, 107, 109, 110, 111, 134, 135, 136, 138, 139, 140, 142, 143, 144, 145, 147, 151, 153, 154, 157, 169, 185, 214, 215, 216 of the Act;
 - (ii) Planning and Development (Local Planning Schemes) Regulations 2015;
 - (iii) Regulations 21, 22, 24 and 27 of the Planning and Development Regulations 2009;
 - (iv) Strata Titles Act 1985 or the provisions of a strata or survey-strata scheme;
 - (v) Strata Titles General Regulations 1996;
 - (vi) Section 52 and section 85 of the Land Administration Act 1997;
 - (vii) Section 40 of the Liquor Control Act 1988;
 - (viii) Perry Lakes Redevelopment Act 2005.
- 2.7 Power to determine requests for variations to plans of subdivision where WAPC approval is required pursuant to the provisions of an approved local planning scheme.
- 2.8 Power to provide comment on and grant approval to plans known generally as outline development plans, structure plans and similar plans, and to planning policies and similar documents or amendments thereto, requiring the approval or endorsement of the WAPC pursuant to the provisions of a local planning scheme.
- 2.9 Power to provide comments or advice on behalf of the WAPC to a local government or a redevelopment authority where a provision of a local planning scheme or a redevelopment scheme requires comments from the WAPC.

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- 2.10 Power to execute and accept the benefit of easements in gross, covenants in gross, records on title and other instruments for dealings in land for subdivisions, strata subdivisions and developments in accordance with any applicable policy and legislation.
 - 2.11 Power to make recommendations to the Minister for Planning in relation to requests from local governments to expend monies paid by subdividing land owners in lieu of setting aside free of cost to the Crown, areas of land for public open space, where such recommendations are in accordance with WAPC policy.
 - 2.12 Power to determine whether or not a proposal is likely to have a significant effect on the environment pursuant to section 38(1) of the *Environmental Protection Act 1986* and to refer such proposal to the Environmental Protection Authority.
 - 2.13 Power to waive or clear conditions affixed as conditions of approval.
 - 2.14 Power to endorse diagrams and plans of survey and deposited plans involving the acquisition and resumption of land created pursuant to Part 11 of the Act and the *Land Administration Act 1997*.
 - 2.15 Power to advise the Minister for Planning on any appeal or matter arising therefrom pursuant to Part 14 of the Act.
 - 2.16 Power to defend and otherwise deal with applications for review lodged with the Administrative Tribunal and to appeal, defend, respond and otherwise deal with any matter that may be appealed to the Supreme Court on a question of law.
 - 2.17 Power to defend, respond, appeal and otherwise deal with legal proceedings.
 - 2.18 Power to prepare and approve, subject to the prior approval of the Minister for Planning, policies relating to planning matters and/or the functions of the WAPC, save and except for State Planning Policies under Part 3 of the Act.
 - 2.19 Power to determine matters under Regional Interim Development Orders.
 - 2.20 Such powers and functions of the WAPC as set out in-
 - (i) Part 5 of the Act;
 - (ii) *Planning and Development (Local Planning Schemes) Regulations 2015* as are necessary for the preparation, promulgation and the making of recommendations in relation to the Improvement Scheme authorised by Improvement Plan No. 37 for the Browse Liquefied Natural Gas Precinct.
 - 2.21 Such powers and functions of the WAPC as set out in -
 - (i) Parts 5 and 8 of the Planning and Development Act 2005;
 - (ii) Town Planning Regulations 1967; and
 - (iii) Any improvement scheme approved, In relation to improvement plans and improvement schemes for land within the City of Karratha, the Shire of Ashburton and the Shire of Broome to be designated by the Statutory Planning Committee as Anketell, Midland, Ashburton north and Browse LNG Precinct Strategic Industrial Areas.

Quorum for meetings

In accordance with the Western Australian Planning Commission (WAPC), Governance Guide – Standing Orders, Section 5.1 - Quorum for meetings:

(2) A quorum for a meeting of a committee is at least 50 per cent of the number of current offices of members of the Committee.

Disclosure of interests

In accordance with the *Planning and Development Act 2005* and Section 4 of the Western Australian Planning Commission (WAPC), Governance Guide – Standing Orders, members of Committees (and certain employees) are required to disclose the following types of interests that they have or persons closely associated to them, have:

- direct and indirect pecuniary interests (financial);

- proximity interests (location); and
- impartiality interests (relationship).

A “**direct pecuniary interest**” is one where a member has an interest in a matter where it is reasonable to expect that the matter if dealt with by the Board or a Committee, or an employee in a particular way, will result in a financial gain, loss, benefit or detriment for the member.

An “**indirect pecuniary interest**” refers to an interest in a matter where a financial relationship exists between a member and another person who requires a WAPC decision in relation to the matter.

A “**proximity interest**” refers to an interest of a member, or close associate of the member, in a matter if the matter concerns –

- (a) a proposed change to a planning scheme affecting land that adjoins the person’s land;
- (b) a proposed change to the zoning or use of land that adjoins the person’s land; or
- (c) a proposed development, maintenance or management of the land or of services or facilities on the land that adjoins the person’s land.

An “**Impartiality interest**” means an interest that could, or could reasonably be perceived to, adversely affect the impartiality of the member having the interest and includes an interest arising from kinship, friendship, partnership or membership of an organisation or an association with any decision-making process relating to a matter for discussion before the Board or a Committee.

Members disclosing any pecuniary or proximity interests for an item cannot participate in discussion or the decision making procedure relating to the item and must leave the meeting room during the discussion of the item. Members disclosing an impartiality interest in an item must also leave the room during the discussion or the decision making procedure relating to the item unless the Committee, by formal resolution, allows the member to remain. The reason to allow a member to remain must be stated in the formal resolution and will be minuted.

Disclosure of representations

Where a member has had verbal communication with or on behalf of a person with an interest in a matter which is before a meeting, the member is to disclose the interest.

Where a member is in receipt of relevant written material (including email) from or on behalf of a person with an interest in a matter which is before a meeting, the member is to table the material at the meeting for the information of members.



Statutory Planning Committee Minutes

Meeting No. 7614
Tuesday, 28 May, 2019

Members: David Caddy - Chairman WAPC
Megan Adair - WAPC Appointee
Paddi Creevey - Nominee of the Regional Minister
Kym Davis - Community Representative
Lino Iacomella - WAPC Appointee
Ross Thornton - WAPC Appointee

Apologies: Sue Burrows - Nominee of the Director General, Department of Planning, Lands and Heritage
Leonard Kosova - Local Government Representative
Nina Lyhne - WAPC Appointee
Marion Thompson - Professions Representative

Others present: Shau Chong – Principal Planning Officer, Schemes and Amendments
Sean Collingwood – Planning Director, Regional North
Katie Dowling – Commission Support Officer
Keegan Elsner – Graduate Officer
Sam Fagan – Manager, Commission Business
Stephen Ferguson – Director, Legal Services
Glen Finn – Director, METRONET Taskforce
Johan Gildenhuys – Principal Planning Officer, Metro North
Sam Lissiman – Senior Planning Officer, Schemes and Amendments
Georgina Lockhart – Administration Officer, Commission Support
Jaime Lundberg – Manager, Office of the Director General
Damien Martin – Planning Director, Strategy and Engagement
Danielle Matthews – Senior Planning Officer, Metro North
Rohan Miller – Planning Director, Schemes and Amendments
Kat Neve – Planning Manager, Regional North
Mek Piggott – Senior Planning Officer, Schemes and Amendments
Suzanne Roach – Senior Planning Officer, Metro Central
Dale Sanderson – Director, Metro Central
Mathew Selby – Planning Director, Metro North
Katrina Shoobridge – Senior Planning Officer, Schemes and Amendments
Ryan Taylor – Principal Planning Officer, Metro Central

1. Declaration of opening

The Chairman declared the meeting open at 9.36am, acknowledged the Whadjuk people of the Noongar nation as the traditional owners and custodians of the land on which the meeting is taking place and welcomed members.

2. Apologies

Nil.

3. Members on leave of absence and applications for leave of absence

Ms Sue Burrows - Nominee of the Director General, Department of Planning, Lands and Heritage

Mr Len Kosova - Local Government Representative

Ms Nina Lyhne - WAPC Appointee

Ms Marion Thompson - Professions Representative

4. Disclosure of interests

Ms Davis declared an Impartiality Interest on Item 8.4 Loch Street Station Precinct Structure Plan, Item 9.1 Amendment No. 136 – Town of Claremont Town Planning Scheme No. 3 - For Final Approval and Item 9.2 Amendment No. 137 – Town of Claremont Town Planning Scheme No. 3 - For Final Approval, as she is currently employed by the Town of Claremont. Members agreed that Ms Davis should not be present during the discussion and/or decision-making procedure on the item.

Members discussed the Chairman's ongoing disclosures of interest with respect to his former role with TPG, now known as Element. It was noted that due to the time lapsed and him having no financial interest in the company, the Committee consider that he no longer has a conflict of interest in applications initiated and conducted by TPG/Element.

Moved by Mr Thornton

Seconded by Ms Adair

That the Statutory Planning Committee recognises due to time elapsed since his last involvement with Element (formally TPG) the Chairman no longer has to declare an Impartiality Interest in items that are initiated or conducted by Element (formally TPG).

The motion was put and carried

5. Declaration of due consideration

5.1 Questions from members and responses from DPLH provided prior to the meeting

6. Minutes

6.1 Confirmation of minutes - Meeting No. 7613 on Tuesday, 14 May 2019

**Moved by Ms Creevey
Seconded by Ms Davis**

That the minutes of the Statutory Planning Committee meeting held on Tuesday, 14 May 2019, be confirmed as a true and correct record of the proceedings.

The motion was put and carried

7. Deputations and presentations

7.1 Draft Forrestfield North Residential Precinct Local Structure Plan (Item 8.5)

Presenters: Cr John Giardina - City of Kalamunda and Lynette De Reggi - Landowner

Cr Giardina, the Mayor of City of Kalamunda presented to the Committee speaking on behalf of the community and their concerns. He highlighted how the community has been waiting patiently as their land and homes have been subject to rezoning changes in the development of the area, and how their properties are essentially frozen, and the future is unknown for the area. He addressed how the City has invested time and resources in supporting the State Government in the development of the area, and the delay is not in the best interest of the community, city and the State. He thanked the Committee for the opportunity to introduce himself and requested they approve the structure plan so homeowners can move forward.

Ms De Reggi presented to the Committee as a representative of landowners; a list of those she represents was distributed to the Committee. A copy of this has been placed on file. She detailed how many residents bought into the area for ideal lifestyle opportunities, surrounded by bushland and having ample acreage. She highlighted how the environmental issues are now impacting on these people's lives.

Ms De Reggi summarised the process which has occurred to date, how the land was previously seen to be ideal for development due to its proximity to major transport infrastructure, however the plans changed upon the announcement of the Forrestfield Airport Link. Ms De Reggi explained how many residents are now over 60 years of age, and have many different reasons for wanting to sell their houses with their home being their only major asset. She highlighted that their properties are worth less than when they were zoned to be light industrial and will now be adversely affected financially.

Ms De Reggi emphasised how landowners understand the environmental impediments to the development, but projected the

desired environmental outcomes are increasingly jeopardised the longer the plans are put on hold.

7.2 Draft Forrestfield North Residential Precinct Local Structure Plan (Item 8.5)

Presenters: Cr Dylan O'Connor

The deputation was withdrawn prior to the meeting.

7.3 Draft Forrestfield North Residential Precinct Local Structure Plan (Item 8.5)

Presenters: Paul Michael Ryan - Landowner

Mr Ryan made a presentation to the Statutory Planning Committee as a concerned landowner, he advised that he believes the Structure Plan should be approved in its current form or with the separation of areas with the approval of residential, and the green area being deferred. He stated if the residential zones are to be approved it gives certainty to developers, and means market value is determined much earlier.

Mr Ryan stated how three core groups of landowners exist in the area: residential landowners who want to sell, residential landowners that intend to develop and landowners who have properties in the green area that want to sell. He advised he does not believe the land ownership is fragmented. He emphasised the fears that landowners have with respect to high infrastructure costs that will be placed on them, and his calculations show that the Development Contribution Plan could be \$1.6 million per hectare. Members queried where this figure was derived, and he advised that this was from items listed in the Local Structure Plan that has estimates for the DCP and this costing was split between the land in hectares to determine this contribution.

7.4 Draft Forrestfield North Residential Precinct Local Structure Plan (Item 8.5)

Presenters: Peter Varellis and Chris Lodge - City of Kalamunda, Murray Casselton - Element and Dale Newsome - Strategen

Mr Casselton, Mr Newsome, Mr Varellis and Mr Lodge presented to the Statutory Planning Committee and thanked members for the opportunity. Mr Casselton outlined the outstanding issues currently with the Structure Plan, advising that an updated comprehensive Local Water Management Strategy (LWMS) is almost complete, additional traffic modelling requirements are understood, road design modifications are accepted, and Development Contribution Arrangements are to be finalised once the structure planning for the Forrestfield North Project Area is completed. He highlighted the Development Contribution Arrangements are unable to be finalised without certainty in the planning infrastructure framework.

Mr Casselton explained how the spatial arrangements for environmental conservation and public open space have been resolved through the Structure Plan process, with these areas identified in consultation with and via an agreement with OEPA and DWER. The

green link also drawing together the existing Bush Forever areas that are currently isolated. Mr Casselton detailed how the approval and progression are separate mechanisms, procedurally not interlinking. He added that LPS 3 seeks advice, not approval from DWER and the matters raised are not in the capability for the Structure Plan to resolve and is now holding up development.

Mr Newsome presented to the Committee as a representative from Strategen, highlighting that the LSP has not confirmed the retention areas for conservation, as it demonstrates what is agreed on with the agencies focusing on protection and retention. The corridor that has been identified in this case has a relatively minor number of trees. He discussed the potential offsets under the *Biodiversity Conservation Act*, and as a LSP is a planning process there is no defined project and the assessment can only be done as a strategic assessment. He stated that a project will be brought on by future developments in the area. He advised that conservation areas will be a good opportunity for offsets if the LSP is approved.

Mr Newsome outlined that the funding mechanisms are the only outstanding issues, with the approval of the LSP being an identification in the offsets that will be required, therefore they are unable to engage with landowners or the airport due to there being no security of tenure. He highlighted that the deferral of the matter will not resolve the funding issues.

7.5 Draft Forrestfield North Residential Precinct Local Structure Plan (Item 8.5)

Presenters: Peter Varellis and Simon Di Rosso - City of Kalamunda

Mr Di Rosso presented to the Statutory Planning Committee with regards to the legal aspects surrounding the Structure Plan assessment. He highlighted the regulations stating that the Commission should determine the outcome within 120 days. He also noted how a deferral should specify a timeframe in which the submission is to return to the Committee for further consideration.

Mr Di Rosso advised the Committee that the council's position is they will go to the State Administrative Tribunal should a deferral be endorsed.

Mr Varellis advised the Committee that the City of Kalamunda has invested in conducting the Structure Plan in good governance. He stated how with the station precinct opening in 2021 has an established vision for the area, with it presently being a station to nowhere. He explained that there is an intrinsic link between the residential precinct and Transport Oriented Development (TOD), which needs to be established through a future Development Contribution Plan (DCP). The landowners require certainty due to their largest personal asset being their land and the DCP plays a crucial role in this.

Mr Varellis stressed how the WAPC should be acting as a broker between the State Government agencies for the best planning and development outcome, with deferral shifting the responsibility to the

Local Government which is beyond their sphere of influence. He also stressed how due to late correspondence between DPLH and DWER, the deferral does not reflect the current state with the recent engagement.

7.6 Amendment No. 136 - Town of Claremont Town Planning Scheme No. 3 – For Final Approval (Item 9.1)

Ms Davis declared an Impartiality Interest on this item and left the meeting at 10.26am.

Presenters: Lewis Shugar - Element and Alan McGilvray - Westway Developments Pty Ltd

Mr McGilvray and Mr Shugar presented to the Statutory Planning Committee as representatives of the proprietor of Lot 11 (No 414) Stirling Highway, Claremont. They spoke regarding the proposed zoning being classed as residential, but explained to the Committee how the site has been used in the last 40+ years for commercial uses. Mr Shugar described the land as being fit for purpose commercial and rezoning to residential would mean the subject site would operate under a non-conforming use despite its ongoing operation as commercial. They highlighted that should this be rezoned to residential, as in the event that they are unable to lease the building for a 6-month period, the subject site would be unable to operate again in the same commercial manner it has done for the past 40 years. The land use Mr Shugar requested is that of Special Zone – Restricted Use which would permit the uses of Office, Shop (small and intermediate), Retail Store and Showroom. Mr McGilvray explained to the Committee that the building use is totally commercial, and it is no way able to develop into a residential site.

Mr Shugar detailed clause 37A and the provisions of non-residential development abutting a residential zone, and requested these provisions not apply to the subject site. This would enable the uses of the existing footprint of the building to operate and will ensure no increase in commercial floorspace or intensity.

7.7 Amendment No. 136 - Town of Claremont Town Planning Scheme No. 3 – For Final Approval (Item 9.1)

Ms Davis declared an Impartiality Interest on this item and remained out of the meeting.

Presenters: David Maiorana - Harley Dykstra

Mr Maiorana made a presentation to the Statutory Planning Committee on behalf of the owner of Lot 3 Richardson Avenue and thanked members for the opportunity. He outlined the location being within an excellent location and stated it warrants a density greater than the existing R20 coding, therefore requesting the lot form part of R30 coding as part of the scheme amendment. He stated that it could then be developed in the shorter term and redeveloped as progression is made along Stirling Highway. Members queried the potential outcome and whether it can currently be subdivided, it was noted that the

existing house is currently a single level private home and overdue for improvement.

7.8 Amendment No. 136 - Town of Claremont Town Planning Scheme No. 3 – For Final Approval (Item 9.1)

Ms Davis declared an Impartiality Interest on this item and remained out of the meeting.

Presenters: David Vinicombe - Town of Claremont

Mr Vinicombe presented to the Statutory Planning Committee as a representative from the Town of Claremont. He raised concerns regarding the proposal to accommodate showroom use, stating that the last recorded non-conforming use on site is the showroom in 1990, and has not been used for this purpose in many years. He argues that the long-term planning for Stirling Highway details that access from northbound traffic lanes will be prevented by a median island, therefore large commercial traffic that would be used for a showroom would have to traverse through residential streets and this would not be appropriate.

Mr Vinicombe also discussed that the use of the word ‘footprint’ will enable developers the potential to remove the existing building and the construction of multistorey development in the existing footprint, therefore requesting the removal of these words.

Members queried the lots that are exempt from the R80 coding in the amendment with reference to the previous deputation, Mr Vinicombe confirmed that the land along the highway in this area is earmarked for R80 coding, however this would follow established development along the highway. Mr Vinicombe highlighted how the retention of the tree lined and heritage street scapes is important. He went on to express how they have achieved their targets in the timeline for assessment and development.

7.9 Loch Street Station Precinct Structure Plan (Item 8.4)

Ms Davis declared an Impartiality Interest on this item and remained out of the meeting.

Presenters: David Vinicombe - Town of Claremont

Mr Vinicombe addressed the Committee as a representative from the Town of Claremont. He gave context that following the targets set by the government in terms of achieving residential density targets, a local housing study undertaken in 2013 identified a number of locations and one of them was this area. He explained how the Town’s Traffic consultants were prepared to undertake further assessment through a modal split analysis and the increased development yields from Nedlands were not provided. He discussed how wider town strategic planning is considered in due course to assess the impact on the increased Nedlands density.

Mr Vinicombe informed the Committee that it is recommended the road widening in the modified plan is to be retained, and to be more

appropriately reviewed at a later stage upon an overall traffic study component of the LPS review.

Members queried the road widening and how it will be looked at in a later stage, Mr Vinicombe responded stating that they do not have any indication of how public transport can reduce traffic volumes, therefore they are unsure of the impact that the Nedlands scheme will have until traffic assessment is undertaken and it is premature to say whether the road widening is still a requirement.

Ms Davis returned to the meeting at 11.00am.

7.10 Shire of Serpentine Jarrahdale Draft Local Planning Strategy – Request for Consent to Advertise (Item 8.6)

Presenters: Paul Kotsoglo - Planning Solutions

Mr Kotsoglo presented to the Statutory Planning Committee and thanked them for their time. He acts as a representative of the registered proprietor of Lots 51 and 56 Kargotich Road and Lots 53 and 54 Gangemi Road, Oldbury, this land is to the immediate west of the West Mundijong Industrial Area. He explained how the subject land is situated within the 1000m industrial buffer and this should be inclusive of a rural enterprise zone. He therefore requests that a modification to the LPS should show the 1km buffer as a rural enterprise area.

7.11 Amendment No. 102 – City of Stirling Local Planning Scheme No. 3 – For Final Decision (Item 9.3)

Presenters: Daniel Heymans and Patricia Tan - City of Stirling

Mr Heymans and Ms Tan made a presentation to the Statutory Planning Committee stating that they would like to clarify a couple of points that may be pertinent to the decision made.

The main issue Mr Heymans addressed was Lot 15, which is zoned business and the business zone allows all residential except a shop and a small bar, however they propose to change this to a Local Centre allowing these as a permitted use. He stated that the built form will not change, and the guidelines will still apply.

Members queried why Lot 35 was withdrawn, Mr Heymans explained how the owner was to purchase the strata adjoining and develop the site into mixed use, however a change of ownership meant this was not possible.

Members noted the submissions received by the community that were against the change of zoning and queried the reasons why. Mr Heymans stated how many people believed that a taller building was being permitted and an emotive reaction was formed. He stated it was around a similar time that a building over the height limits permitted by the City was approved by the JDAP.

Members noted that the Local Centre would be opposite a large lot, and questioned why this is not included in the amendment.

Mr Heymans noted that the lot is a recent development where the shop only uses the front, and changing the lot to a local centre can open the lot to have a grouped dwelling. He noted that a Local Centre allows for residential development, however not on the ground floor.

ITEMS FOR DECISION

8.2 Proposed Temporary Accommodation during construction of new Single House and change of use of existing building to Ancillary Dwelling – Lot 190 Lefroy Avenue, Herne Hill

Moved by Ms Creevey
Seconded by Mr Iacomella

That the Statutory Planning Committee resolves to approve the application subject to the following conditions:

- 1) *This approval relates to Temporary Accommodation during construction of a new Single House then change of use of the existing building to an Ancillary Dwelling, in accordance with the attached plans date stamped 15 February 2019 by the Department of Planning, Lands and Heritage on behalf of the Western Australian Planning Commission.*
- 2) *All dwellings are to be connected to an on-site secondary treatment and disposal system for sewage which includes nutrient removal.*

Advice Note:

1. *The Western Australian Planning Commission's approval of this application should not be construed as an approval for a Grouped Dwelling on the subject land or as support for any future proposal to subdivide the land.*
2. *In relation to Condition 2, the subject land is located within a Sewage Sensitive Area and near a waterway. A list of approved secondary treatment and disposal systems for sewage is available from the Department of Health (https://ww2.health.wa.gov.au/Articles/A_E/Approved-aerobic-treatment-unit). Systems that discharge treated sewage with phosphorus and nitrogen concentrations of less than 1mg/L and 10mg/L respectively are recommended in Sewage Sensitive Areas.*

The motion was put and carried

8.3 Belmont Development Area 6 (DA6) - Activity Centre Plan Request

Moved by Ms Creevey
Seconded by Mr Iacomella

That the Statutory Planning Committee resolves to:

1. agree that an Activity Centre Plan for the City of Belmont Development Area 6 is required for the purpose of orderly and proper planning, in accordance with clause 31 of the deemed provisions, Schedule 2 of the Planning and Development (Local Planning Scheme) Regulations 2015.
2. advises the City of Belmont that the Western Australian Planning Commission's expectation is that the Activity Centre Plan for Development Area 6 will be prepared in liaison with the Department of Planning, Lands and Heritage and METRONET team.

The motion was put and carried

8.6 Shire of Serpentine Jarrahdale Draft Local Planning Strategy – Request for Consent to Advertise

Moved by Ms Creevey
Seconded by Mr Iacomella

That the Statutory Planning Committee:

1. considers that Modifications 10, 11, 25 and 26 attached to Western Australian Planning Commission's letter dated 20 August 2018 are not required to the local planning strategy;
2. accept the additional modification to the local planning strategy as sought by the Shire of Serpentine Jarrahdale and consider that modification to the local planning strategy, in accordance with the attached Schedule of Modifications, is required;
3. authorise Department of Planning, Lands and Heritage officers to review the modifications to ensure they have been satisfactorily undertaken and execute the documents accordingly, prior to the advertising of the local planning strategy; and
4. certify that the local planning strategy, upon completion of the modifications and review of the modifications by the Department of Planning, Lands and Heritage, be suitable for advertising in accordance with regulation 13 of the Planning and Development (Local Planning Schemes) Regulations 2015.

The motion was put and carried

9.2 Amendment No. 137 - Town of Claremont Town Planning Scheme No. 3 – For Final Approval

THIS ITEM IS CONFIDENTIAL

9.4 Shire of Serpentine Jarrahdale - Local Planning Scheme No.3

THIS ITEM IS CONFIDENTIAL

9.5 Shire of Halls Creek Local Planning Scheme No.2 - For Final Approval

THIS ITEM IS CONFIDENTIAL

The meeting was adjourned at 11.19am.

The meeting was resumed at 11.29am with all members present.

8.1 WITHDRAWN - Reconsideration of Public Open Space Condition – Lot 85 Pollard Street, Glendalough

The Item was withdrawn prior to the meeting at the request of the proponent.

8.5 Draft Forrestfield North Residential Precinct Local Structure Plan

Members discussed the different options that they have with regards to a decision on the item and they acknowledged that a deferral is not making a final decision, and allowing an opportunity for a decision to be made at a future time when all relevant information is available to make an assessment. Members discussed the option to approve the LSP subject to later works being completed and agreed that this can only be done if the Commission is satisfied that further matters will not result in a substantial departure from the plan.

Members acknowledged Mr Ryan's deputation, and his request to have half of the LSP approved now, separating the residential and green areas. Members also discussed whether it is possible for a new LSP to be prepared to deal with the areas away from significant vegetation. Both options were identified as not being possible, due to the LSP having to fit the surrounding context, including the school site to ensure that the residential area will have local school access. In addition to this, a new structure plan would restart the process and there could be issues with realigning the technical documents. Members discussed the LSP stating that in terms of assessment, this Structure Plan ticks all the boxes and they are almost there however the environmental matters are an issue that needs to be rectified.

Members reviewed Mr Ryan's deputation with the projected costs of the DCP, stating that they believe the figure is very high and he may not have calculated the total area that the DCP would cover, as this may have only been calculated for just Forrestfield North and not the entire TOD.

Members discussed the deputation that was made by Mr Casselton and Mr Newsome, particularly referencing the environmental processes and whether these had been completed due to the assessment being undertaken by Strategen. It was noted that in discussions with DWER, they ultimately decided that it is not appropriate for an independent review and discussed how DWER will appoint a consultant within a short timeframe. They also noted the deputation made by Mr Varellis, stating that the WAPC are liaising with DWER and discussed the sense

of urgency that is felt within the Commission, the Minister for Planning's office and at DWER. With all parties being actively involved and understanding of the issues that need to be addressed in an urgent timeframe.

Members reviewed the recommendation presented to the Committee, and noted Mr Di Rosso's point on a timeframe. It was noted how there have been discussions of the matter being presented back to the Committee by the end of the October 2019, and giving people this timeframe will enable some confidence and a timeframe for decision.

Members discussed the MRS Amendment which has not yet progressed, and stressed how they cannot force conditions on the LSP that could be subject to decisions on the Amendment. They stressed how they cannot make a decision that will then in turn influence the Minister for Planning's decision on the Amendment.

Members discussed how the best option would be to have a deferral but impose a timeframe on this, stating that a deferral although it could incur the application going to the State Administrative Tribunal, would mean they are getting the right information at a federal level with respect to the significant value of the environmental issues. With the timeframe this will ensure that the decision will come back through the Committee and they can assess all information to ensure a clear and informed decision can be made.

Members finally noted Ms De Reggi's deputation, and highlighted the significant cost that this has had on the people of the community. They acknowledge the urgency that this application has, and they agreed to state in writing to the Local Government, that the Commission has the same view and acknowledges the urgency in finding a resolution.

Members agreed to modify the recommendation of the Department of Planning, Lands and Heritage, to include a timeframe on the deferral with the application being presented back to the Committee.

Moved by Mr Thornton
Seconded by Ms Davis

That the Statutory Planning Committee resolves to:

1. *defer consideration of the draft Forrestfield North Residential Precinct Local Structure Plan (draft LSP) until 31 October 2019 on the following basis:*
 - 1.1. *the proposal is inconsistent with State Planning Policy 2 'Environment and Natural Resources Policy' and State Planning Policy 2.8 'Bushland Policy for the Perth Metropolitan Region' as it is unclear how vegetation with regional importance will be adequately protected and managed;*
 - 1.2. *the proposal is not implementable in its current form as the environmental values protected under State and Federal legislation such as the Biodiversity Conservation Act 2016 and*

Environmental Protection and Biodiversity Conservation Act 1999, have not been:

- *confirmed as retention areas for conservation;*
- *determined in terms of potential offsets required;*
- *clarified in terms of impacts on Matters of National Environmental Significance, potential funding and management mechanisms for the purchase and maintenance of these areas into the future;*

1.3. the City of Kalamunda's Local Planning Scheme 3 (LPS 3) Schedule 11 Part 2(ii) requires the draft LSP to identify retention areas for key environmental values. LPS 3 specifies that the "retention area, size, location, protection and management mechanism shall be subject to OEPA advice prior to the WAPC endorsement of the structure plan". This information has not been provided therefore, the proposal is inconsistent with the statutory provisions of LPS 3.

2. *invite the local government to submit the outstanding information as listed above including any further modifications that may be required to the draft LSP.*
3. *inform the local government as follows:*
 - 3.1. *if the submitted Metropolitan Region Scheme amendment is considered as the appropriate mechanism for implementing and managing the environmental conservation areas or any expansion as regional reserves, then final approval of the structure plan will only be possible after completion of such an amendment process; and*
 - 3.2. *if an amendment to the Metropolitan Scheme is not recommended as the mechanism to manage and protect the regionally significant vegetation and areas with environmental values, then an alternative need to be provided prior to final consideration of the draft LSP.*

The motion was put and carried

8.4 Loch Street Station Precinct Structure Plan

Ms Davis declared and Impartiality Interest on this item and left the meeting at 12.02pm.

Members discussed the concerns with regards to transport modelling and the road widening, with the transport modelling not including the modal split. It was noted that some road upgrades would be required with increased density in the future.

Members noted how an Activity Centre Plan around the Showgrounds is progressing and contributes to transport related issues addressed

through the scheme and strategy. Members queried whether the land depicted that is owned by the Royal Agricultural Society should be removed from the Structure Plan due to the Activity Centre Plan and reached a view that they should include this area as subject to further investigation.

Members agreed to modify the recommendation of the Department of Planning, Lands and Heritage, will changes to reference the land shown as R80 owned by the Royal Agricultural Society being subject to further investigation.

Moved by Mr Caddy
Seconded by Ms Creevey

That the Statutory Planning Committee resolves to:

1. *Require the Loch Street Station Precinct Structure Plan to be modified in accordance with the following:*
 - a. *schedule of modifications as provided in Attachment 2; and*
 - b. *change classification of the land bound by Judge Avenue, Ashton Avenue and the rail line from R80 and Public Open Space (as identified in the advertised structure plan) to ‘subject to further investigation’;*
2. *Require the Town of Claremont to resubmit a modified version of the Loch Street Station Precinct Structure Plan to the Western Australian Planning Commission for final approval; and*
3. *Advise the Town of Claremont that a comprehensive report of review of its Local Planning Scheme and Strategy, in accordance with Regulation 66 of the Planning and Development (Local Planning Schemes) Regulations 2015, provides an opportunity to further consider that area of the structure plan identified for further investigation and facilitate a more strategic consideration of transport and other issues associated with the various strategic planning initiatives being undertaken within or near the Town of Claremont.*

The motion was put and carried

9.1 Amendment No. 136 - Town of Claremont Town Planning Scheme No. 3 – For Final Approval

THIS ITEM IS CONFIDENTIAL

9.3 Amendment No.102 - City of Stirling Local Planning Scheme No.3 - For Final Decision

THIS ITEM IS CONFIDENTIAL

10. Reports for noting

Nil.

11. Stakeholder engagement and site visits

Nil.

12. Urgent or other business

Members discussed Local Government having strategies in place that have not been updated in many years, querying whether we inform them that their strategic planning processes should be updated. It was noted that this does occur, but some smaller local authorities are unable to update these due to financial constraints.

13. Items for consideration at a future meeting

It was acknowledged that Item 8.3 Belmont Development Area 6 (DA6) - Activity Centre Plan was endorsed at today's meeting.

14. Meeting closure

The next ordinary meeting is scheduled for 9.30am on Monday, 10 June 2019.

There being no further business before the Committee, the Chairman thanked members for their attendance and declared the meeting closed at 12.23pm.

CHAIRMAN

DATE



REPORT TO	Statutory Planning Committee		
Meeting date	10 June 2019	File number	21-50593-1
Subject	Development Application - Shed - Lot 50 (No. 25) Arthur Street, Caversham		
Purpose	Requires WAPC decision		
Title of Approving Officer	Assistant Director General, Land Use Planning		
Agenda Part for Reports (All parts are confidential unless otherwise stated) SPC - Non-Confidential (To be published to the website)			
SITE-SPECIFIC DETAILS			
Region/s	Perth		
Local government/s	City of Swan		
Landowner/Consultant	Tania Butcher		
Bushfire Prone Area	NO		
Statutory Planning Committee - SMART/Structure Plans only			
Region scheme zoning	Rural		
Local Scheme Zoning	Swan Valley Rural		
Council's recommendations	APPROVE		
Receipt date	27/2/19	Process days	90 (at SPC Report close off)
Property Address	Lot 50 (No. 25) Arthur Street, Caversham		
SUMMARY			
The application proposes the construction of a shed at Lot 50 (No. 25A) Arthur Street, Caversham to be used for storage of general household goods.			
The City of Swan has resolved to approve the application under its Local Planning Scheme, based on a 0.3m setback to the western boundary and a 0.5m setback to the southern boundary. This is contrary to the Swan Valley Planning Committee (SVPC) recommendation to refuse the application on the basis that the application is inconsistent with the planning objectives for Area B and is not compliant with the side and rear setback requirements.			
The application is being presented to the SPC for determination as it is outside of the scope of delegation to officers. It is recommended that the application be approved, under clauses 26(3) and 30B (4) of the <i>Metropolitan Region Scheme</i> (MRS).			
DETAILS OF PROPOSAL			
The application seeks approval for the construction of a shed at Lot 50 (No. 25) Arthur Street, Caversham (Attachment 1 – Development Plans) to be used for the storage of general household goods.			

The subject land contains an existing single house and other ancillary structures. The shed is proposed to be located on a cleared portion of the subject lot behind the existing dwelling. The proposed shed has a total area of 150m², is 15m long, 10m wide, and has a maximum wall height of 5m with a maximum ridge height of 5.97m. The application proposes a rear setback of 0.3m and a proposed side setback of 0.5m.

The subject land is zoned Rural under the Metropolitan Region Scheme (MRS) and Swan Valley Rural under the City of Swan Local Planning Scheme No.17 (LPS 17) (**Attachment 2 – Zoning Plan**). The site is also subject to the *Swan Valley Planning Act 1995* (the Act), and is located on the edge of Area B bordering land zoned Urban on its western boundary.

BACKGROUND

The City referred the application to the SVPC and at its meeting on 3 December 2018 the SVPC resolved to recommend that:

The Swan Valley Planning Committee resolves to recommend to the City of Swan that the application for a shed - Lot 50 (No.25) Arthur Street, Caversham – (DA694-18) is refused for the following reasons:

- *The application is inconsistent with the planning objectives for Area B as listed in the Swan Valley Planning Act 1995, specifically clause 8.6; and*
- *The application does not comply with the side and rear setback requirements.*

Clauses 26(3) and 30B(5) of the MRS require that an application for approval to develop land in the Swan Valley is referred to the WAPC for determination where the recommendation of the SVPC is not accepted by the City. The City has recommended approval of the application under its Local Planning Scheme.

KEY ISSUES

Consistency with WAPC Policies & Planning Framework	Metropolitan Region Scheme Swan Valley Planning Act 1995 City of Swan LPS 17	Broadly consistent, some discretion required
Government Considerations	Perth and Peel	N/A
Budget	None	
Consultation	The City advertised the proposed development to the adjoining affected landowners at Lot 9418 Castella Drive, Caversham and Lot 16 (No.11) Arthur Street, Caversham for a period of 14-days, with no submissions received.	

PLANNING ASSESSMENT

Swan Valley Planning Act 1995 (SVP Act) and Swan Valley Interim Planning Policy

The SVP Act lists specific objectives for defined 'areas' within the Swan Valley. The subject site is in Area B, which encompasses those portions of the Swan Valley zoned Swan Valley Rural under LPS 17.

The SVP Act lists specific objectives for development within Area B, including the following cited by the Swan Valley Planning committee in their recommendation for this application:

6. *The compatibility of design, siting and landscaping with the character of the area.*

By way of context, the lot is uniquely small given the rural zoning at only 2116.5m² and contains a single house and incidental outbuildings. The proposed shed addition is consistent with similar development on lots within the locality, is ancillary to the existing use and is not out of keeping with other development in the area. The lot does not currently contain any vineyards or agricultural land uses, and, given the small lot size, it is considered unlikely that the land could be used for these purposes.

The Swan Valley Interim Planning Policy (the Interim Policy), endorsed by the SVPC and the WAPC in 2014 provides that sheds and outbuildings are to be designed, sited and sized to minimise visual impact and be subordinate and ancillary to the predominant use of the lot. The proposed shed is setback approximately 23m from the primary street (Arthur Street) and will be mostly screened from view by vegetation and the existing development.

The Interim Policy does not specify any requirement in terms of side setbacks for sheds and outbuildings but does require a minimum of 50m from the primary street, along with other requirements for sheds larger than 200m². In this instance, the proposed shed is significantly less than this in size (150m²) and this requirement does not apply.

It is considered that the proposed shed will not adversely impact on the rural character of the locality or the visual amenity of the adjoining property. Further, it is noted that the owners of the adjoining property to where the southern setback is proposed have not objected to the proposal. This adjoining lot contains an existing single house which is setback approximately 120m from the proposed development. It is considered that the 0.5m setback to the proposed outbuilding will have little to no impact on the amenity enjoyed by the existing house on the adjoining property (**Attachment 3 - Aerial Photo**).

It is important to note that the subject lot is located in on the boundary of the Swan Valley Planning Act area. In this regard, the land to the west of the subject lot is zoned Urban and forms part of the Caversham Local Structure Plan (the LSP). The lots immediately adjacent to the subject lot are identified for transition lot management which require that development of dwellings will be restricted to the front portions of the lots, with setbacks of approximately 55 m from the lot boundary shared with the subject land. The adjoining lots will also contain bunds (existing) and fencing (existing) to assist in reducing amenity impacts (noise, odour etc) associated with the Swan Valley Rural zoned land. Therefore, the planning framework currently in place provides for an appropriate interface between the Urban zoned land and the Swan Valley rural zoned land. Based on the above, it is considered that the 0.3m setback to the western boundary of the subject lot will have limited impact on the adjoining properties given that the transition lot measures will mitigate any visual amenity impacts from the proposed development.

Having regard to the context, it is considered that the proposed development will be compatible with the design, siting and landscaping with the character of the area and consistent with the area objectives of the Swan Valley Planning Act.

Metropolitan Region Scheme

Clause 30 of the MRS requires the determining authority to have regard to:

- the purpose for which the land is zoned or reserved under the Scheme;
- the orderly and proper planning of the locality; and
- the preservation of amenities of the locality.

The construction of a shed used for storage purposes associated with the existing use of the land is considered to be consistent with the Rural zoning. Further, for the reasons discussed in the above section, the proposal is consistent with the orderly and proper planning of the locality and the preservation of amenity in the locality.

CONCLUSION

The application is consistent with the provisions and intent of the SVP Act 1995, the Swan Valley Interim Planning Policy, the MRS and relevant WAPC policy. It is recommended that the application be approved.

RECOMMENDATION

That the Statutory Planning Committee resolves to approve the application subject to the following condition:

1. This approval relates to the construction of a shed in accordance with the attached plans date stamped 27 February 2019 by the Department of Planning, Lands and Heritage on behalf of the Western Australian Planning Commission.

ATTACHMENTS

Attachment 1 - Development Plans

Attachment 2 - Zoning Plan

Attachment 3 - Aerial Photo

ATTACHMENT 1

Shed - Lot 50 (No.25) Arthur Street, Caversham



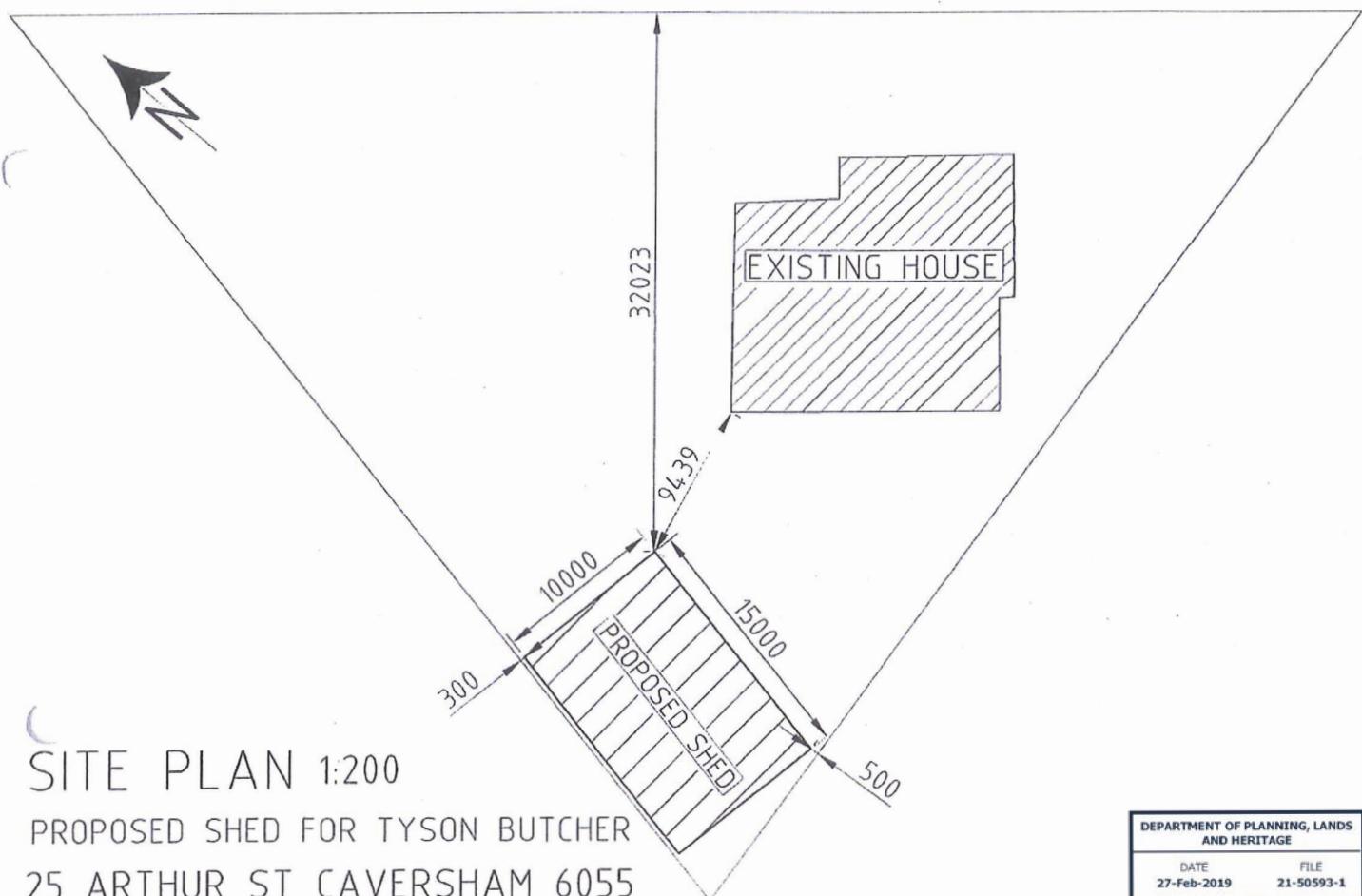
 city of swan	DISCLAIMER: Information shown hereon is a composite of information from various different data sources. Users are warned that the information is provided by the City of Swan in this format as a general resource on the understanding that it is not suitable as a basis for decision making without verification with the original source.	11 January 2019	
	<p>DEPARTMENT OF PLANNING, LANDS AND HERITAGE DATE 27-Feb-2019 FILE 21-50593-1</p>	1:1250	

RECEIVED

26 OCT 2018

CITY OF SWAN - CONTACT CENTRE

ARTHUR STREET

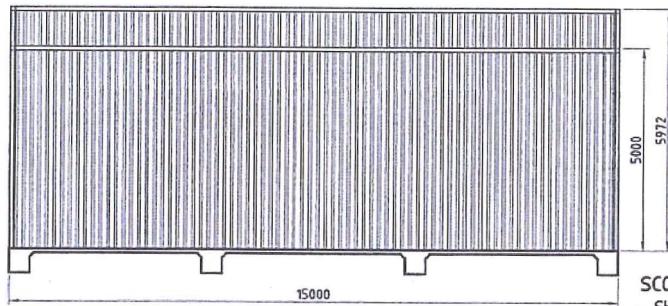
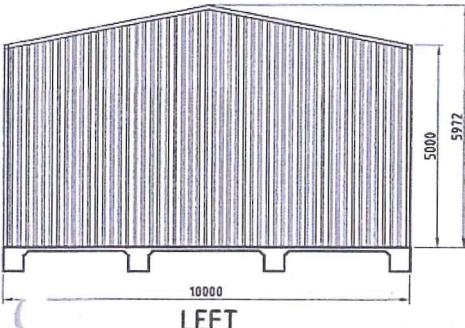
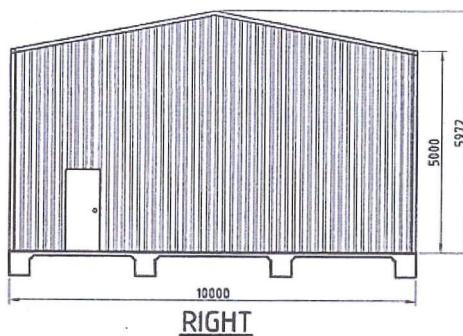
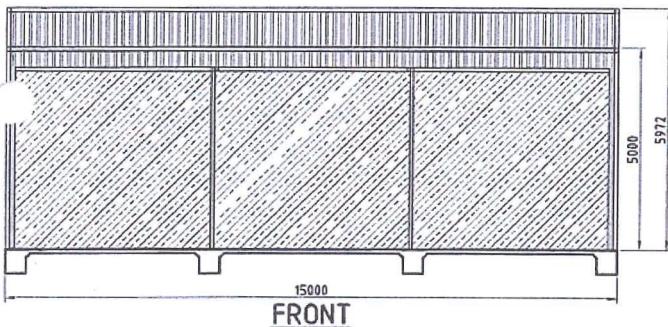


DEPARTMENT OF PLANNING, LANDS AND HERITAGE
DATE 27-Feb-2019 FILE 21-50593-1

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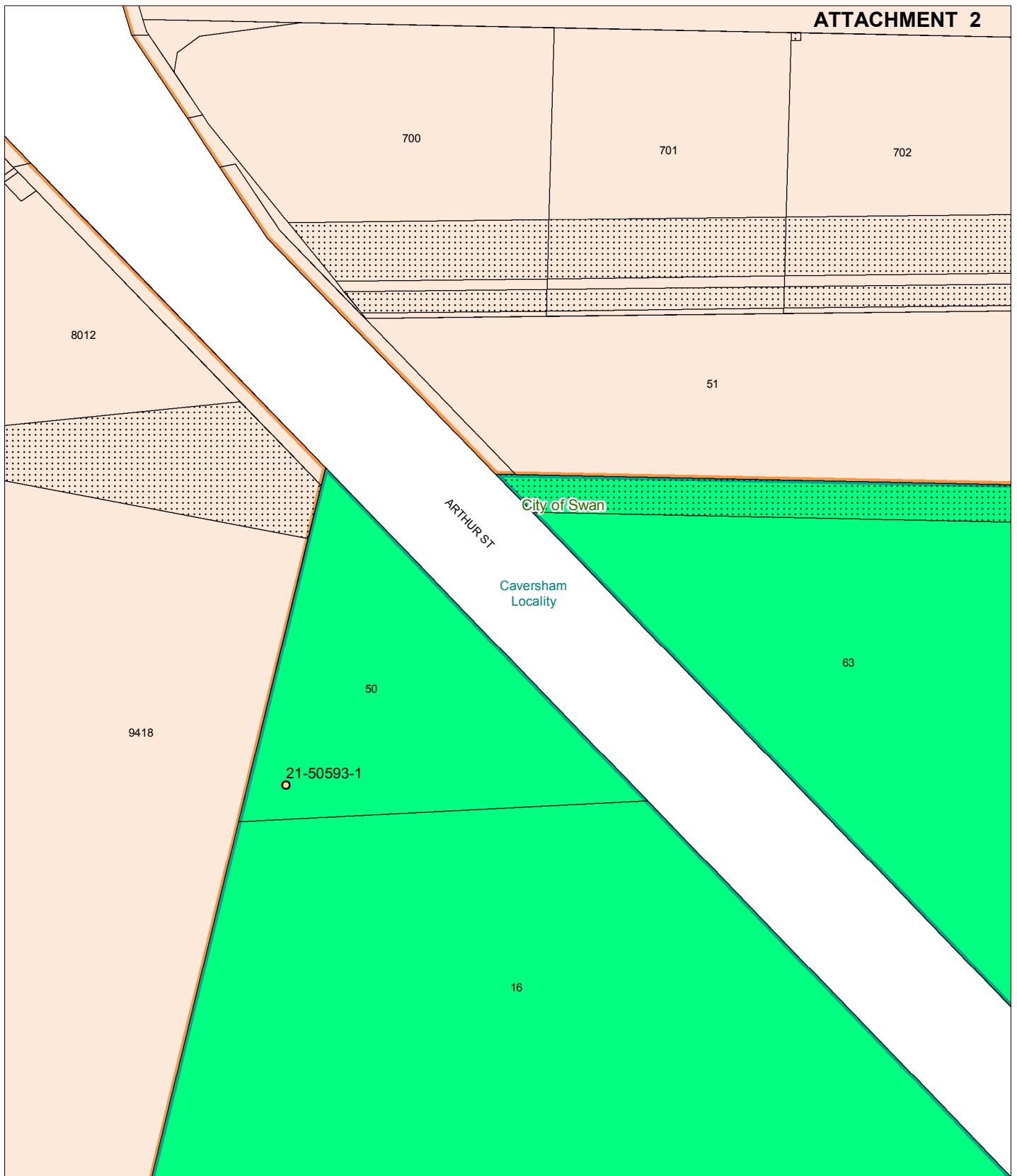
CITY OF SWAN - CONTACT CENTRE

181038SB - SCOPE OF WORKS

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 27-Feb-2019	FILE 21-50593-1

SIGNED..... DATE.....

- SCOPE OF WORKS
- SHED SIZED AS SHOWN
 - TRIMDEK COLOUR SHEETING
 - GUTTERS & DOWNPPIPES
 - ROOF INSULATION
 - PA DOOR
 - 3 X SLIDING DOORS 4.5H X 4.8W,
ON 3 TRACKS, TWO DOORS OPEN
AT A TIME.



**Location Plan for:
Development Application**

This data is to be used only for the processing of
Development Application

Application Number: **21-50593-1**

Decision: **OUTSTANDING**

Printed: **28/02/2019**

Application Status

● Outstanding

Easements and Referrals

[dotted box] Easements

Existing LPS Zones and Reserves

[orange box] Residential development

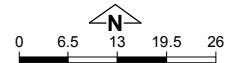
[green box] Swan Valley rural

Region Scheme Reserves

Localities & Local Government Boundaries

[solid line box] Local government boundary

[dashed line box] Locality





Legend

- Cadastre (View 1)
- Development Applications
 - Approved (Green dot)
 - Outstanding (Blue dot)
 - Cancelled (Red dot)
 - Unknown (Grey dot)

ATTACHMENT 3

InQuiry Map

INTERNAL USE ONLY

Internal Spatial Viewer

N
0 0.10 0.2 Kilometres
1: 4,076
at A4

Projection: WGS 1984 Web Mercator Auxiliary Sphere

Notes:

The data that appears on the map may be out of date, not intended to be used at the scale displayed, or subject to license agreements. This information is stored in the relevant layers metadata. For these reasons the map should not be distributed outside of the Department.

Map was produced using DPLH's InQuiry.

Date produced: 21-Mar-2019

SPC Agenda Page 32



REPORT TO	Statutory Planning Committee					
Meeting date	10 June 2019	File number	21-50590-1			
Subject	Development Application - Shed - Lot 22 Railway Parade, Belhus					
Purpose	Requires WAPC decision					
Title of Approving Officer	Assistant Director General, Land Use Planning					
Agenda Part for Reports (All parts are confidential unless otherwise stated) SPC - Non-Confidential (To be published to the website)						
SITE-SPECIFIC DETAILS						
Region/s	Perth					
Local government/s	City of Swan					
Landowner/Consultant	Ivan and Genevieve Franulovich					
Bushfire Prone Area	NO					
Statutory Planning Committee - SMART/Structure Plans only						
Region scheme zoning	Swan Valley Rural					
Local Scheme Zoning	Rural					
Council's recommendations	APPROVE					
Receipt date	25/02/19	Process days	92 (as at SPC report close-off)			
Property Address	Lot 22 Railway Parade, Belhus					
SUMMARY						
The application proposes the construction of a shed which is incidental to the existing rural residential development on the site.						
The City of Swan resolved to approve the application under its Local Planning Scheme, based on a 3.5m setback of the shed from the Northern (side) lot boundary. This is contrary to the Swan Valley Planning Committee (SVPC) recommendation to approve subject to a 10m setback from the lot boundary. Approval of the application by the WAPC is required under the Metropolitan Region Scheme (MRS).						
The application is being presented to the SPC for determination as it is outside of the scope of delegation to officers. It is recommended that the application be approved, under clauses 26(3) and 30B (4) of the MRS.						
DETAILS OF PROPOSAL						
The application seeks approval for the construction of a 78m ² shed at Lot 22 (No.43) Railway Parade, Belhus (Attachment 1 – Development Plans) to be used for storage of general household items, personal vehicles and a private workshop.						
The subject land is 2.25 hectares in size and contains an existing single house and other						

ancillary structures. The shed is proposed to be located on a cleared portion of the subject lot to the northern side of the existing dwelling located at the rear of the lot. The proposed shed has a total area of 78m², is 13m long, 6m wide, and has a maximum wall height of 4m with a maximum ridge height of 4.53m. The shed is proposed to have a side setback of 3.5m and a rear setback of 42m.

The Swan Valley Planning Committee (SVPC) have reviewed the proposal and on 15 October 2018 recommended that the application be approved with a condition requiring the side setback be 10m from the side boundary. The City of Swan have resolved to approve the application under LPS 17 contrary to the recommendation of the Committee. Subsequently, the application has been referred to the WAPC for determination pursuant to Clause 26(3) of the MRS.

The subject land is zoned Rural under the Metropolitan Region Scheme (MRS) and Swan Valley Rural under the City of Swan Local Planning Scheme No.17 (LPS 17) (**Attachment 2 – Zoning Plan**). The site is also subject to the *Swan Valley Planning Act 1995* (the Act), and is located within Area B as referred to in the Act.

BACKGROUND

The City referred the application to the SVPC and at its meeting on 15 October 2018 the SVPC resolved to recommend that:

The Swan Valley Planning Committee resolves to recommend to the City of Swan that the application for Development associated with the construction of a shed - lot 22 (No.43) Railway Parade, Belhus is approved as the application is consistent with the planning objectives for Area B as listed in the Swan Valley Planning Act 1995, specifically clauses 8.4 and 8.6 subject to the following condition:

- Setback to be 10 metres from side boundary

Clauses 26(3) and 30B(5) of the MRS require that an application for approval to develop land in the Swan Valley is referred to the WAPC for determination where the advice of the SVPC is not accepted by the City. The City has recommended approval of the application under LPS17, with a 3.5m lot boundary setback and recommends that the SVPC 10m setback recommendation to be reduced to 3.5m by the WAPC as reflected in the development plans in Attachment 1.

KEY ISSUES

Consistency with WAPC Policies & Planning Framework	Swan Valley Planning Act 1995 Metropolitan Region Scheme City of Swan Local Planning Scheme No. 17 (LPS 17)	Fully consistent
Government Considerations	Perth and Peel	N/A
Budget	None	
Consultation	The City advertised the proposed development to the adjoining affected landowner at Lot 21 Railway Parade Drive Belhus for a period of 14 days, with no submissions received.	

PLANNING ASSESSMENT

Swan Valley Planning Act 1995 (SVP Act) and Swan Valley Interim Planning Policy

The general planning objectives for the Swan Valley are: *the encouragement of the traditional agricultural and other productive uses of the area that complement its rural character, the protection of the environment and the character of the area, the reduction of nutrient levels in the Swan River and the promotion of tourism that complements the rural character of the Swan Valley.*

The relevant specific planning objectives for Area B referenced in the SVPC resolution (above) are:

4. *The encouragement of traditional activities of the Swan Valley and industries associated with viticulture, horticulture and cottage industry provided that they are compatible with the rural character of the area.*
6. *The compatibility of design, siting and landscaping with the character of the area.*

The subject land contains a single house and incidental outbuildings ancillary to the established residential use of the property. The purpose of the shed is for storage of general household items, personal vehicles and a private workshop for repairs and servicing. The proposed shed addition is not out of keeping with development on surrounding lots within the locality and will not have a negative effect on the encouragement of traditional activities of the Swan Valley on neighbouring properties.

The Swan Valley Interim Planning Policy (the Interim Policy), endorsed by the SVPC and the WAPC in 2014 provides that sheds and outbuildings are to be designed, sited and sized to minimise visual impact and be subordinate and ancillary to the predominant use of the lot. The proposed shed is setback approximately 295m from the primary street (Railway Parade) and will be screened from view by vegetation and already existing structures, and it is to be used for purposes ancillary to the predominant use of the land.

The Interim Policy does not specify any requirement in terms of side setbacks for sheds and outbuildings but does require a minimum of 50m from the Primary street, along with other requirements for sheds larger than 200m². In this instance, the proposed shed and outbuilding are significantly less than this in size (78m²).

It is considered that the proposed shed will not adversely impact on the rural character of the locality or the visual amenity of the adjoining property. Further, it is noted that the owners of the adjoining property to where the 3.5m setback is proposed have not objected to the proposal. This adjoining lot does not have an existing house and only contains a shed close to Railway parade, around 274m away (**Attachment 3 - Aerial Photo**).

Having regard to the above discussion, the proposal's potential impact on rural character is limited and the SVPC's recommendation to move the lot boundary to 10m (i.e. 6.5m difference to that recommendation) is not supported.

Metropolitan Region Scheme

Clause 30 of the MRS requires the determining authority to have regard to:

- the purpose for which the land is zoned or reserved under the Scheme;
- the orderly and proper planning of the locality; and
- the preservation of amenities of the locality.

The construction of a shed used for storage purposes associated with the rural residential use of the land is considered to be consistent with the Rural zoning. Further, for the reasons discussed in the above section, the proposal is consistent with the orderly and proper planning of the locality and the preservation of amenity in the locality.

CONCLUSION

The application is consistent with the provisions and intent of the SVP Act 1995, the Swan Valley Interim Planning Policy, the MRS and relevant WAPC policy. It is recommended that the application be approved.

RECOMMENDATION

That the Statutory Planning Committee resolves to approve the application subject to the following condition:

1. This approval relates to the construction of a shed in accordance with the attached plans date stamped 25 February 2019 by the Department of Planning, Lands and Heritage on behalf of the Western Australian Planning Commission.

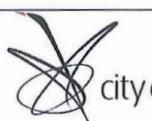
ATTACHMENTS

Attachment 1 - Development Plans

Attachment 2 - Zoning Plan

Attachment 3 - Aerial Photo

Proposed Development Associated with the Construction of a Shed - Lot 22 (No.43) Railway Parade, Belhus



of swan

DISCLAIMER: Information shown here on is a composite of information from various different data sources. Users are warned that the information is provided by the City of Swan in this format as a general resource on the understanding that it is not suitable as a basis for decision making without verification with the original source.

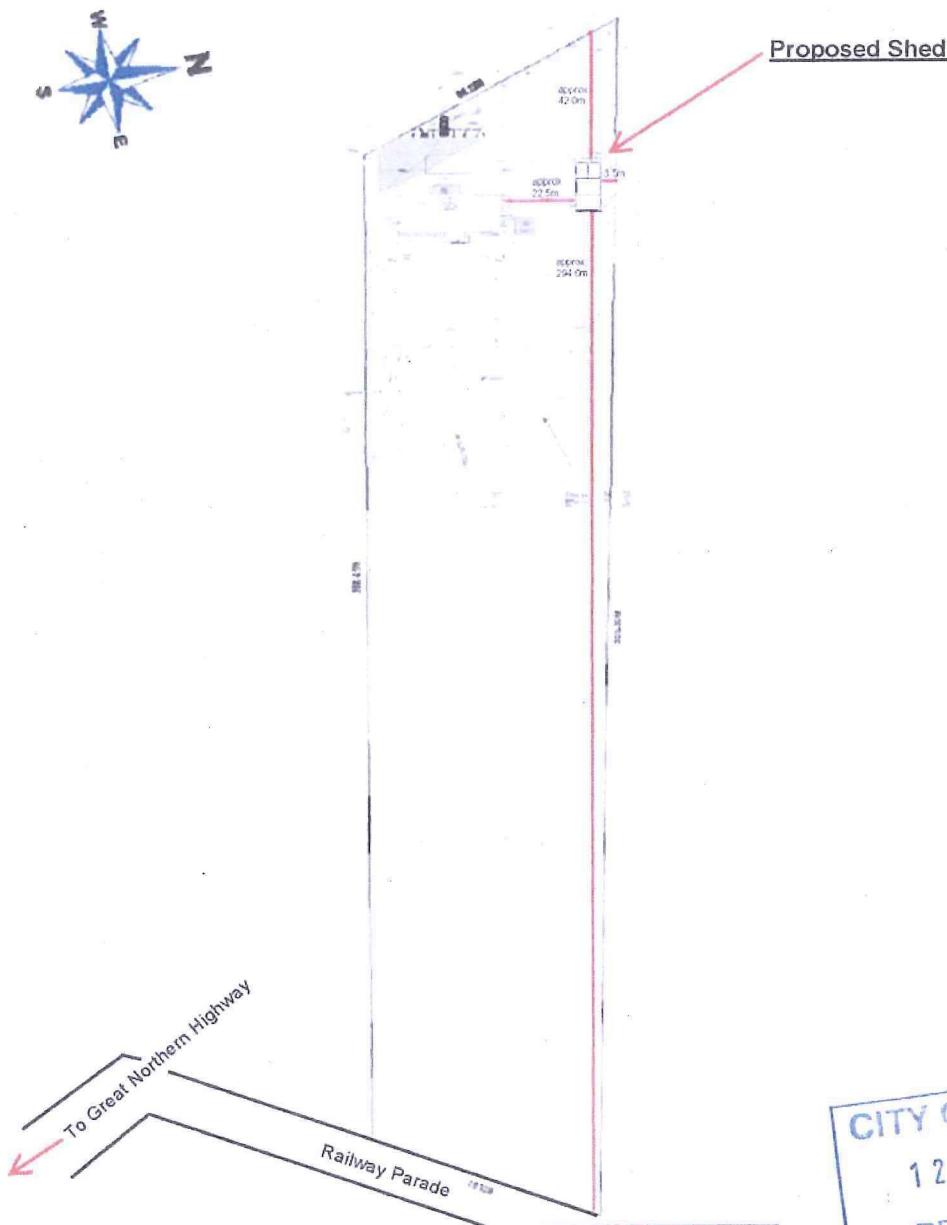


13/11/2018

1:4000



SITE PLAN



AERIAL VIEW

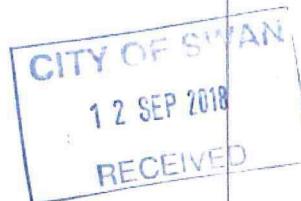
NAME: Ivan & Benedictine Properties
ADDRESS: 41 Hedway TCE,
BEDBURG WA 64649

DRAWN BY: P.
TYPE: Site Plan/Development
INS. ALLOWED: Yes/No/Other/None

EGT NO: 1
DRAFT: 1
SOL TYPE: Sand/Clay

DATE: 11/09/2018
SCALE: 1:200
REF: D Planning 18/09/18

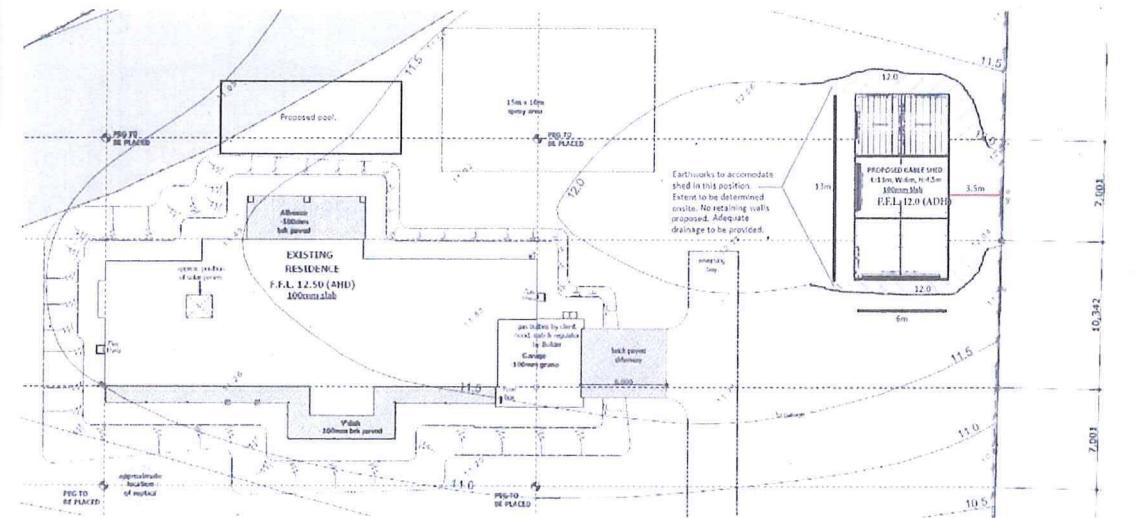
SIGNATURE
Ivan Franulovich



DEPARTMENT OF PLANNING, LANDS AND HERITAGE
DATE 25-Feb-2019 FILE 21-50590-1



SITE PLAN



CITY OF SWAN

12 SEP 2018

RECEIVED

PART SITE PLAN

~~THE SWAN~~

- x - EP 2018

RECEIVED

SIGNATURE

SIGNATURE

NAME: Ivan & Genevieve Franulovich
ADDRESS: 43 Railway PDE.
OTTAWA, ONTARIO, K2B 5E2

DRAWN BY: IF

TYPE: Steel Colour Bond Shed

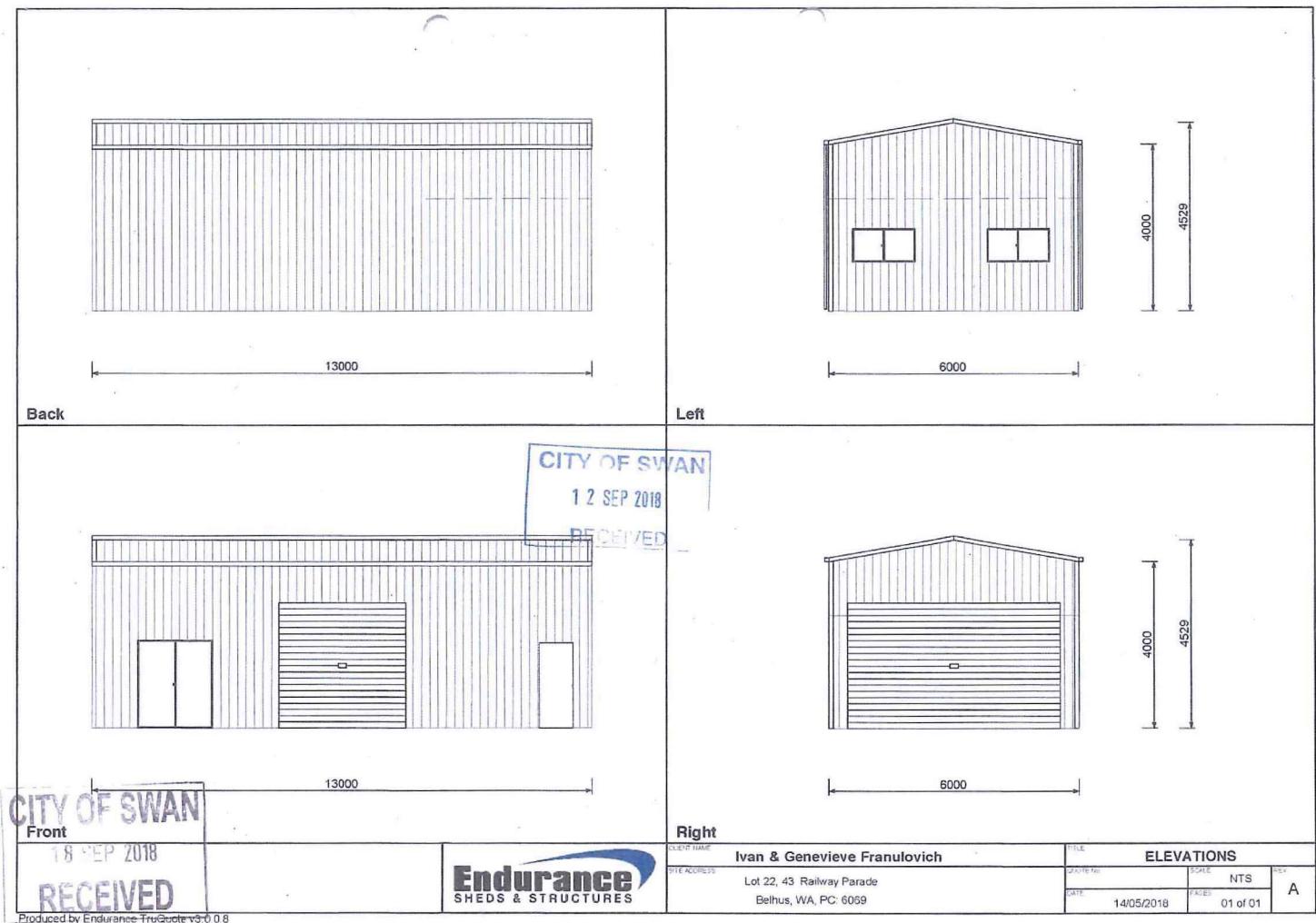
卷之三

DATE: 15/05/2023

REF: D-Planing 35583

DEPARTMENT OF PLANNING, LANDS &

DATE FILE
25-Feb-2019 21-50590-1



DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
25-Feb-2019	21-50590-1

OPTION ITEMS LIST:

3 x Windows
 - 2 x H790xW1505 AMI S-Win (N5)
 - 1 x H2100xW1810 AMI SG-Door

1 x PA Door
 - 1 x Light 180° (650/37 + 1100 lock)

2 x Roller Doors
 - 1 x H3000xW5100 - AA Curtain
 - 1 x H3000xW3050 - A Curtain

1 x Mezzanine
 - 1 x Mezzanine @ 1.5kPa @ H2700 L6000 x W4000

(F1) 1 x each x Flyscreen F/Glass - H790xW1505 AMI S-Win (N5)

(F2) 1 x each x Flyscreen F/Glass - H790xW1505 AMI S-Win (N5)

(F3) 1 x each x Flyscreen F/Glass - H2100xW1810 AMI SG-Door

(E1) 1 x Eng - Certificate (WA) - Enduro

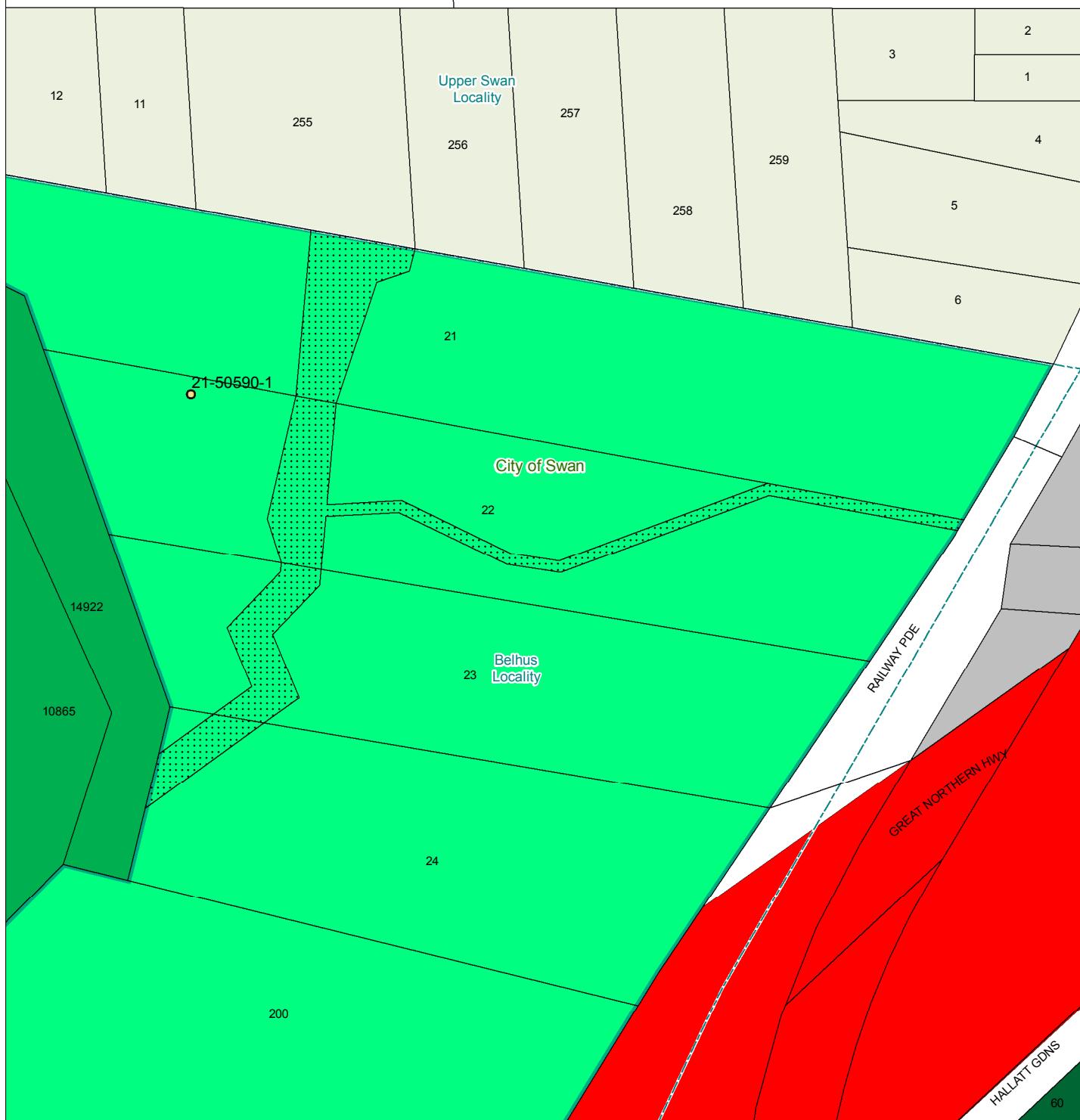
CITY OF SWAN
12 SEP 2018
RECEIVED

CITY OF SWAN 18 SEP 2018 RECEIVED	Endurance SHEDS & STRUCTURES	Ivan & Genevieve Franulovich 43 Railway Parade Belhus, WA, PC: 6069	PLAN VIEW
			DATE: 14/05/2018
			FILE: 01 of 01
			REF: A

Produced by Endurance TruQuote v3.0.0.8

DEPARTMENT OF PLANNING, LANDS AND HERITAGE
DATE 25-Feb-2019 FILE 21-50590-1

ROSE ST


**Location Plan for:
Development Application**

This data is to be used only for the processing of
Development Application

Application Number: **21-50590-1**

Decision: **OUTSTANDING**

Printed: **26/02/2019**



Produced by Data Analytics,
Department of Planning, Lands and Heritage, Perth WA

Base information supplied by
Western Australian Land Information Authority SLIP 1096-2018-1

Application Status

● Outstanding

Easements and Referrals

[dotted box] Easements

Existing LPS Zones and Reserves

[light green box] General rural

[orange box] Residential development

[dark green box] Resource

[bright green box] Swan Valley rural

Region Scheme Reserves

[green box] Parks and recreation

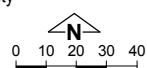
[grey box] Railways

[red box] Primary regional roads

Localities & Local Government Boundaries

[solid green box] Local government boundary

[dashed blue box] Locality





Legend

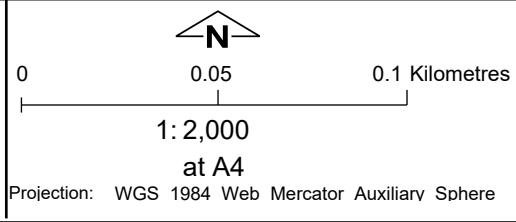
- Cadastre (View 1)
- Development Applications
- Outstanding



Attachment 3 - Aerial View

DPLH BUSINESS USE ONLY

Internal Spatial Viewer



Notes:

The data that appears on the map may be out of date, not intended to be used at the scale displayed, or subject to license agreements. The map should only be used in matters related to Department of Planning, Lands and Heritage business.

Map was produced using DPLH's InQuery.

Date produced: 23-Apr-2019

SPC Agenda Page 43



REPORT TO	Statutory Planning Committee		
Meeting date	10 June 2019	File number	21-50589-1
Subject	Development Application - Shed and Outbuilding - Lot 215 William Street, Herne Hill		
Purpose	Requires WAPC decision		
Title of Approving Officer	Assistant Director General, Land Use Planning		
Agenda Part for Reports (All parts are confidential unless otherwise stated) SPC - Non-Confidential (To be published to the website)			
SITE-SPECIFIC DETAILS			
Region/s	Perth		
Local government/s	City of Swan		
Landowner/Consultant	Brendan Gielen (Owner) / Avalon Sheds and Stables (Applicant)		
Bushfire Prone Area	YES		
Statutory Planning Committee - SMART/Structure Plans only			
Region scheme zoning	Rural		
Local Scheme Zoning	Rural Living		
Council's recommendations	APPROVE		
Receipt date	25/02/19	Process days	92 (as at SPC report close-off)
Property Address	Lot 215 William Street, Herne Hill		
SUMMARY			
The application proposes the construction of a shed and outbuilding, which are incidental to the approved rural use of the land.			
The City of Swan resolved to approve the application under its Local Planning Scheme, based on a 6m setback of the shed from the western (side) lot boundary. This is contrary to the Swan Valley Planning Committee (SVPC) recommendation to approve subject to a 10m setback from the lot boundary. Approval of the application by the WAPC is required under the Metropolitan Region Scheme (MRS).			
The application is being presented to the SPC for determination as it is outside of the scope of delegation to officers. It is recommended that the application be approved, under clauses 26(3) and 30B (4) of the MRS.			
DETAILS OF PROPOSAL			
The application seeks approval for the construction of an 120m ² Shed to be used for storage of farm equipment and a 45.62m ² separate outbuilding (paddock shelter) at Lot 215 William			

Street, Herne Hill..

The lot being the subject of this application is 6.1 hectares in size and contains an existing single house and other ancillary structures. The shed is proposed to be constructed on a cleared portion in the south western portion of the subject lot next to an existing shed on the property. The outbuilding is proposed to be well set back from all lot boundaries in the southern half of the property (**Attachment 1 - Development Plans**).

The Swan Valley Planning Committee (SVPC) have reviewed the proposal and on 5 November 2018 recommended that the application be approved with a condition requiring the side setback (for the shed) be 10m from the side boundary. The City of Swan has approved the application under its Local Planning Scheme No. 17 contrary to the recommendation made by the SVPC. Subsequently, the application has been referred to the WAPC for determination pursuant to Clause 26(3) of the MRS.

The subject land is zoned Rural under the Metropolitan Region Scheme (MRS) and Valley Rural living under the City of Swan Local Planning Scheme No.17 (LPS 17) (**Attachment 2 – Zoning Plan**). The site is also subject to the *Swan Valley Planning Act 1995* (the Act), and is located within Area C as referred to in the Act.

BACKGROUND

The City referred the application to the SVPC and at its meeting on 5 November 2018 the SVPC resolved to recommend that:

The application is consistent with the planning objectives for Area C as listed in the Swan Valley Planning Act 1995, specifically clauses 9.1, 9.2, 9.3, 9.4, 9.5, 9.6 and 9.7 subject to the following condition:

- *10 metre setback to lot boundaries being provided.*

Clauses 26(3) and 30B(5) of the MRS require that an application for approval to develop land in the Swan Valley is referred to the WAPC for determination where the advice of the SVPC is not accepted by the City. The City has approved the application under LPS17, subject to a 6m western lot boundary setback and recommends that the SVPC 10m setback requirement be reduced to 6m by the WAPC as reflected in the development plans in Attachment 1.

KEY ISSUES

Consistency with WAPC Policies & Planning Framework	Metropolitan Region Scheme Swan Valley Planning Act 1995 City of Swan LPS 17 State Planning Policy 3.7 - Planning in Bushfire Prone Areas	Fully consistent
Government Considerations	Perth and Peel	N/A
Budget	None	
Consultation	The proposal was advertised to the adjoining landowner and occupier at lot 216 William Street, Herne Hill and the Swan Valley Resident and Ratepayers Association for a period of 14 days. No submissions were received during this period.	

PLANNING ASSESSMENT

Swan Valley Planning Act 1995 (SVPA) and Swan Valley Interim Planning Policy

The general planning objectives for the Swan Valley are: *the encouragement of the traditional agricultural and other productive uses of the area that complement its rural character, the protection of the environment and the character of the area, the reduction of nutrient levels in the Swan River and the promotion of tourism that complements the rural character of the Swan Valley.*

The relevant specific planning objectives for Area C referenced in the SVPC resolution (above) are:

1. *The maintenance of rural character of the area.*
2. *The encouragement of viticulture and horticulture.*
3. *The establishment of a wide range of rural activities compatible with the rural character of the area.*
4. *The encouragement of vegetation*
5. *Due consideration of building setbacks, retention of vegetation, suitable building materials and suitable boundary fencing in the design of rural residential developments.*
6. *The avoidance of overstocking, of clearing of natural vegetation, of activities causing pollution or degradation of the environment and of any other land management practices detrimental to the amenity of the area.*

The subject land contains a single house and incidental outbuildings, whilst the remainder of the land is used for agricultural purposes. The purpose of the shed is for the storage of farm equipment including a tractor, ride on mower, plough and horse float. In terms of scale, the proposed shed addition is not out of keeping with development on surrounding lots within the locality.

The Swan Valley Interim Planning Policy (the Interim Policy), endorsed by the SVPC and the WAPC in 2014 provides that sheds and outbuildings are to be designed, sited and sized to minimise visual impact and be subordinate and ancillary to the predominant use of the lot. The proposed shed is setback approximately 40m from the primary street (William Street) and will be screened from view by existing vegetation and already existing structures.

The Interim Policy does not specify any requirement in terms of side setbacks for sheds and outbuildings but does require a minimum of 50m from the Primary street, along with other requirements for sheds larger than 200m². In this instance, the proposed shed and outbuilding are significantly less than this in size (120m²).

It is considered that the proposed shed and outbuilding will not adversely impact on the rural character of the locality or the visual amenity of the adjoining property. Further, it is noted that the owners of the adjoining property to where the 6m setback is proposed have not objected to the proposal and the development will be partially screened from views of the neighbouring property by existing vegetation.

The location within which the shed and outbuilding are proposed to be sited are either cleared or not significantly vegetated.

Having regard to the above discussion, the proposals potential impact on rural character are therefore limited and the SVPC's recommendation to move the lot boundary to 10m (i.e. 4m difference to that recommendation) in order to achieve compliance with rural character is not supported.

Metropolitan Region Scheme

Clause 30 of the MRS requires the determining authority to have regard to:

- the purpose for which the land is zoned or reserved under the Scheme;
- the orderly and proper planning of the locality; and
- the preservation of amenities of the locality.

The construction of an outbuilding and shed used for storage purposes associated with the use of the land is considered to be consistent with the Rural zoning. Further, for the reasons discussed in the above section, the proposal is consistent with the orderly and proper planning of the locality and the preservation of amenity in the locality.

State Planning Policy 3.7 - Planning in Bushfire Prone Areas (SPP 3.7)

The subject land has been designated bushfire prone by the Department of Fire and Emergency Services Commissioner under SPP 3.7. In this case, the proposed development does not constitute a 'habitable building' or contemplate any significant intensification of use. Accordingly, the proposal can be considered exempt from the requirements under SPP 3.7 and a formal BAL assessment is not considered necessary for the determination of the application.

CONCLUSION

The application is consistent with the provisions and intent of the SVP Act 1995, the Swan Valley Interim Planning Policy, the MRS and relevant WAPC policy. It is recommended that the application be approved.

Recommendation

That the Statutory Planning Committee resolves to approve the application subject to the following condition:

1. This approval relates to the construction of a shed and outbuilding, in accordance with the attached plans date stamped 25 February 2019 by the Department of Planning, Lands and Heritage on behalf of the Western Australian Planning Commission.

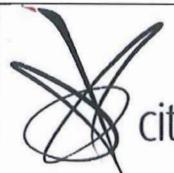
ATTACHMENTS

Attachment 1 - Development Plans
Attachment 2 - Zoning Plan

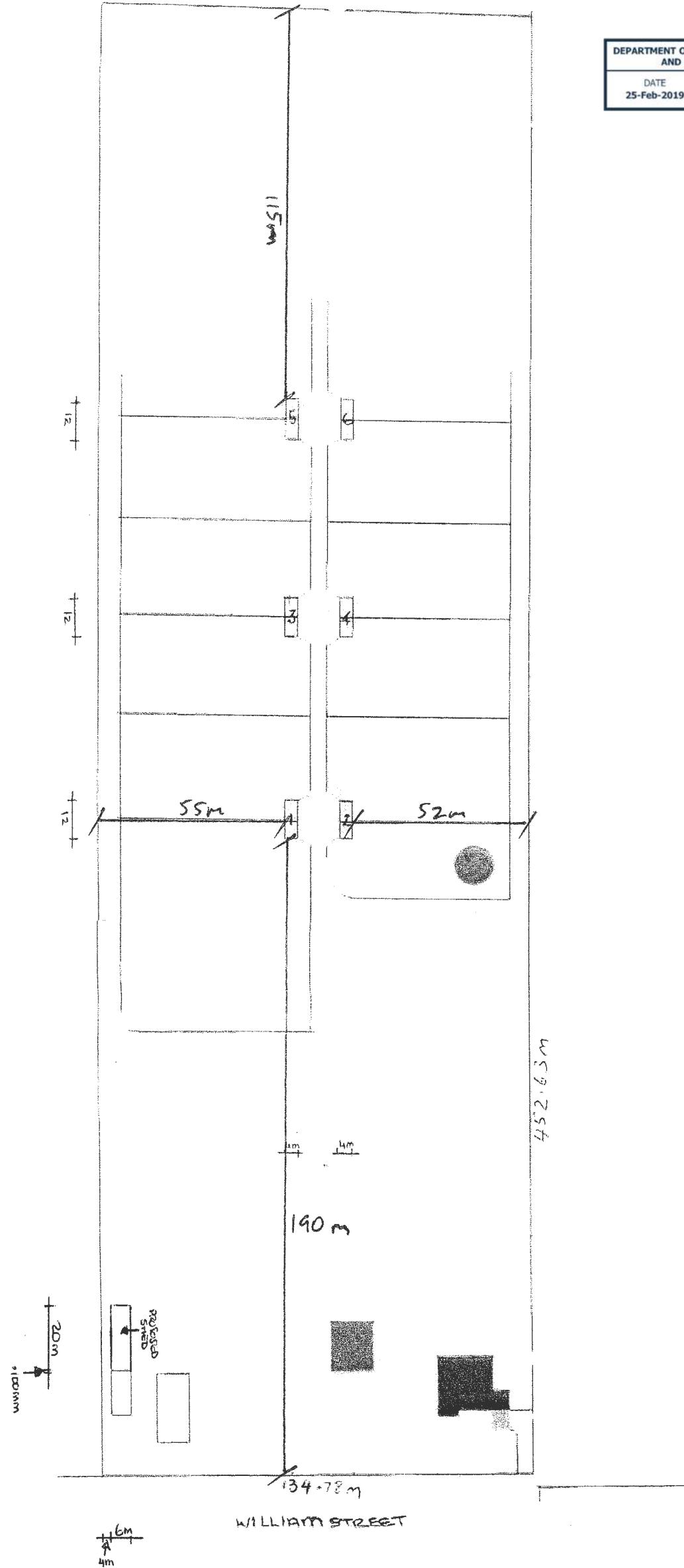
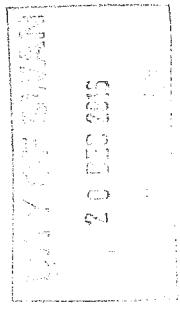
ATTACHMENT 1 - Development Plans

Location Plan - DA-652/2018 - Proposed Rural Shed and Outbuilding - Lot 215 (No. 165) William Street, Herne Hill



 city of swan	DISCLAIMER: Information shown hereon is a composite of information from various different data sources. Users are warned that the information is provided by the City of Swan in this format as a general resource on the understanding that it is not suitable as a basis for decision making without verification with the original source.		11 October 2018	
			1:3000	

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 25-Feb-2019	FILE 21-50589-1



PROPOSED STABLES

CLIENT: BRENDAN GLEEN

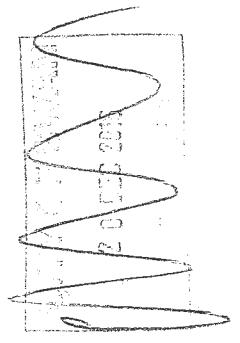
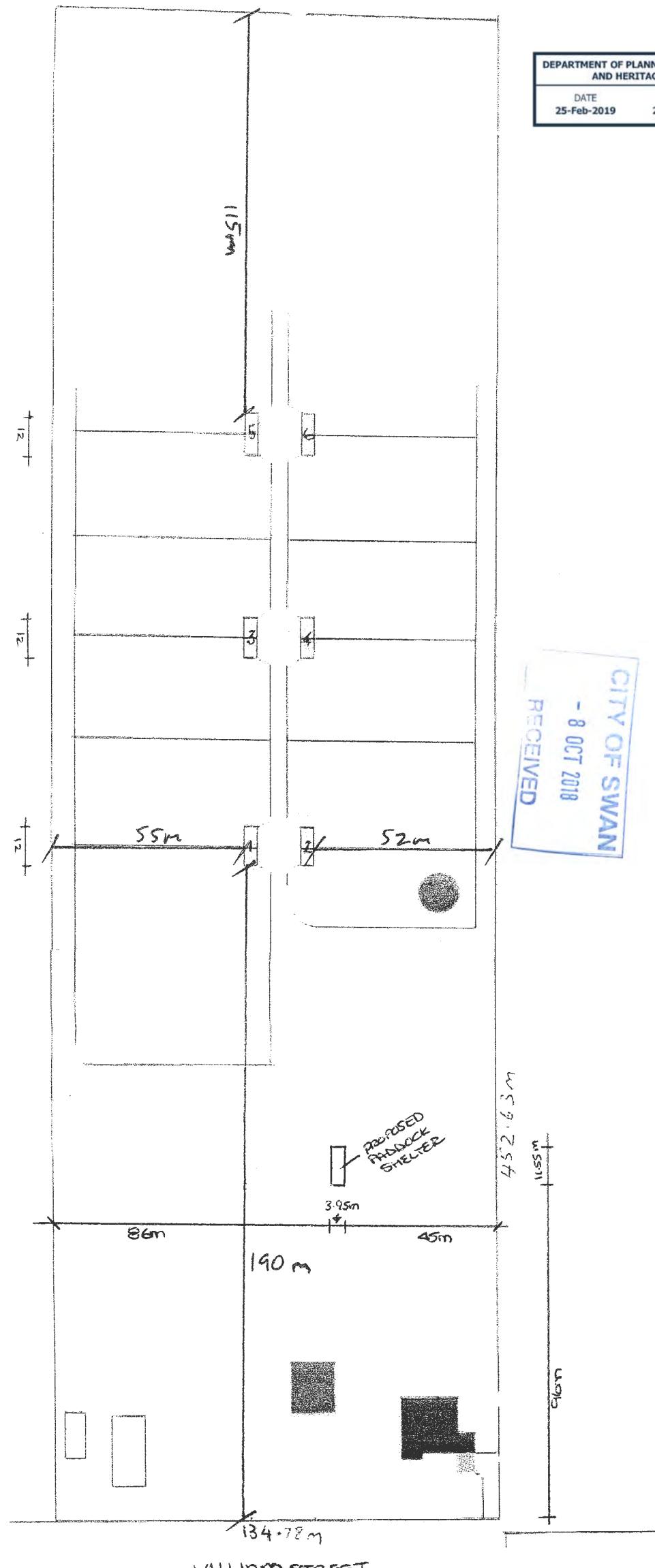
SITE: LOT 215 & 1165 WILLIAM STREET
HERNE HILL

SCALE: 1:1500 @ A3

CITY OF SWAN	
APPROVED PLAN	
No.	1
File Ref.	DA 252/16
This plan relates to the approval to commence development dated	
28 FEB 2017	
DELEGATED CHIEF PLANNER	STATUTORY PLANNING

[Handwritten signatures and initials over the stamp]



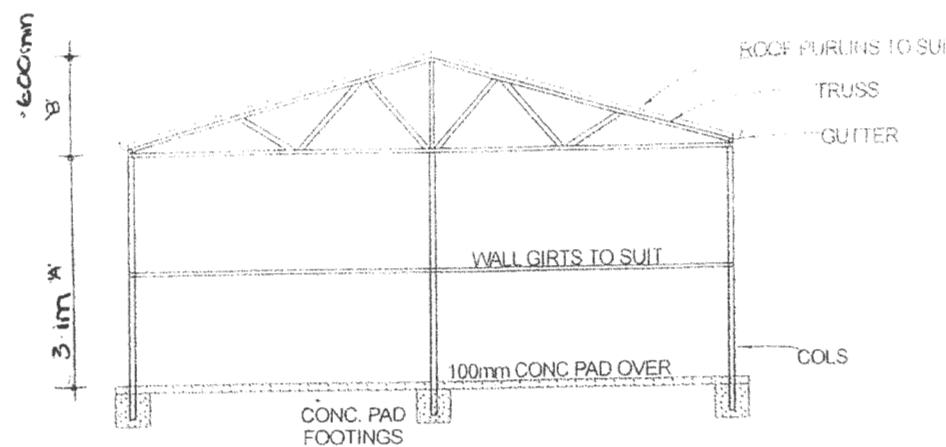


CLIENT: BRENDAN GIELEN
SITE: LOT 215 & 165 WILLIAM STREET
HERNE HILL
SCALE: 1:1500

CITY OF SWAN APPROVED PLAN	
No.	of
2	
File Ref. DA 155/16	
This plan relates to the approved 10 commerce development application 28 FEB 2018	
1. DELEGATED OFFICER SUSTAINABILITY PLANNING	

[Handwritten signature]

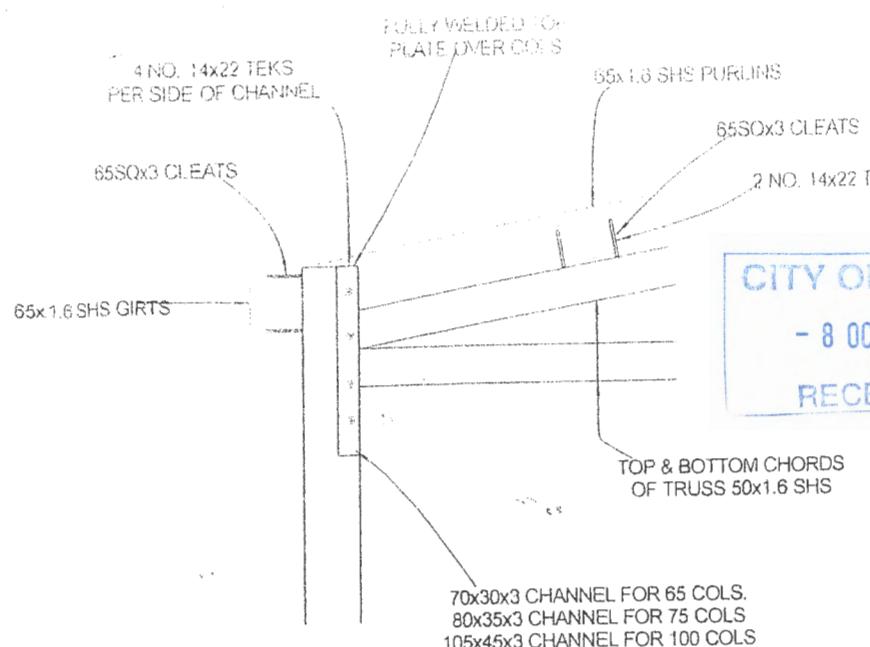
ATTACHMENT 10 Development Plans



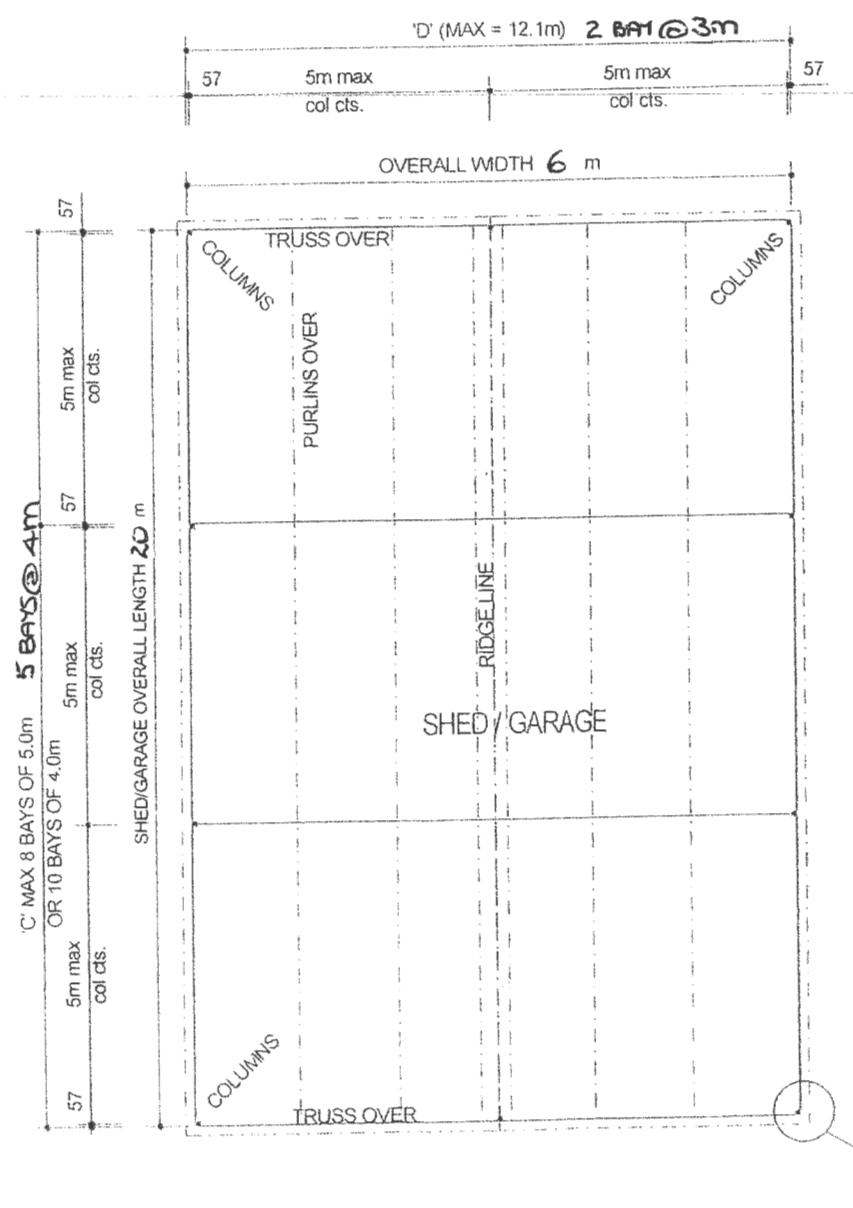
SECTION

DEPARTMENT OF PLANNING, LANDS
AND HERITAGE
DATE 25-Feb-2019 FILE 21-50589-1

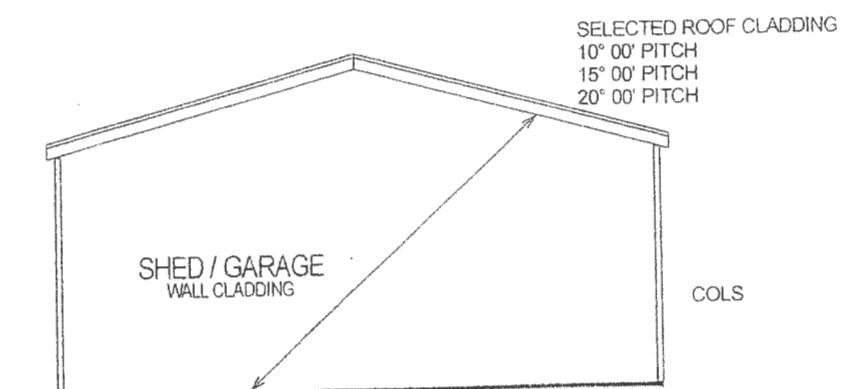
CITY OF SWAN
- 8 OCT 2018
RECEIVED



DETAIL B



SIDE ELEVATIONS



FRONT AND REAR ELEVATIONS

FLOOR ROOF

FOOTINGS:	SHED PAD FOOTINGS	100mm CONCRETE 150mm DEEP 100x100x15.0 DEEP CONCRETE 20Mpa AT 28 DAYS SUITABLE FOR CLASS 'M' AS 2670.
LEAN TO PAD FOOTINGS		400x400x300 DEEP CONCRETE 20Mpa AT 28 DAYS SUITABLE FOR CLASS 'M' AS 2670.
COLUMNS:		65x65x1.6 SHS. 75x75x2.0 SHS. 100x100x2.0 SHS. 75x50x2 SHS x 300mm LONG WELDED TO COLUMNS
TRUSSES:		50x50x1.6 SHS. 50x50x2.5 ANGLE. FULLY WELDED. 50x50x2.5 ANGLE TO EACH LOWER TRUSS CORD
PURLINS & GIRTS:		MAXIMUM SPAN 4.0m: 65x65x1.6 SHS. MAXIMUM SPAN 5.0m: 100x100x2.0 SHS.
PURLINS AND GIRTS GRADE	C450 PLUS TO AS 1163	
CLADDING:		TRIMDECK 0.47 HI-TEN: PURLINS: TEK SCREWS EACH CREST GIRTS: TEK SCREWS EACH PAN
		END SPAN: 1300 INTERNAL SPAN: 1000
		END SPAN: 2000 INTERNAL SPAN: 2300

CLADDING:	CORODECK 0.47 HI-TEN: PURLINS: TEK SCREWS EACH 5 CRESTS GIRTS: TEK SCREWS EACH 5 PANS	END SPAN: 900 INTERNAL SPAN: 1200 END SPAN: 1550 INTERNAL SPAN: 2000
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NOTES:
2 NOS. 65x65x3mm CLEATS FULLY WELDED TO TRUSSES AND COLS TO TAKE PURLINS AND GIRTS WHICH ARE TO BE TEKED WITH 2 NOS. 14x22 TEKS
GARAGE DOORS TO BE FIXED USING GALVANIZED TRACK AND 2 BY 4 WHEEL ED ROLLERS TO EACH DOOR.
SQUARELINE GUTTERS USED, RIVETED, SILICONE SEALED AND STRAPPED AT 1200 CTS MAX.
RAINWATER PIPES INSTALLED AS REQUIRED TO BE 90mm MIN PVC OR COLORBOND AND DISCHARGED TO WATER TANK OR AWAY FROM STRUCTURE BASE.

STRUCTURAL ENGINEER: FOUNDATION ENGINEERING
John Colley, MIE. AUST. CP.ENG (181850)

PHONE: (08) 9572 1190

DATE: 17/11/16

DESIGN WIND SPEED: 50mps
IMPORTANCE FACTOR: 0.9
TERRAIN CATEGORY: 2
SUITABLE FOR SEISMIC ZONE 2 (REFER AS 1170.4)

PROPOSED
FOR: BRENDAN CIELON

SITE ADDRESS: LOT 215 * 165 WILLIAM STREET

MURRAY HILL

APPROXIMATE EXTERNAL DIMENSIONS OF STRUCTURE:

(A) WALL HEIGHT: 3.7m (B) RIDGE HEIGHT: 3.7m

(C) LENGTH: 20.0m (D) WDTH: CITY OF SWAN 6.0m

APPROVED PLAN

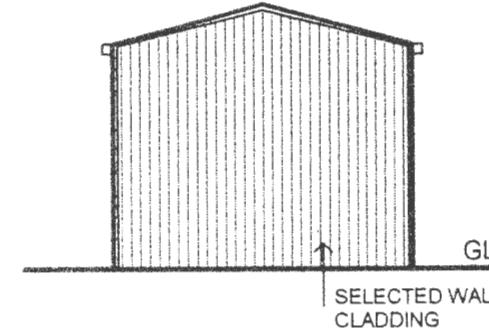
AVALON SHEDS & STABLES

30 RUNYON ROAD, MIDVALE WA 6056
PHONE: (08) 9274 7774
FAX: (08) 9274 6909
EMAIL: mail@avalonsheds.com.au

SPC Agenda Page 51
28 FEB 2017

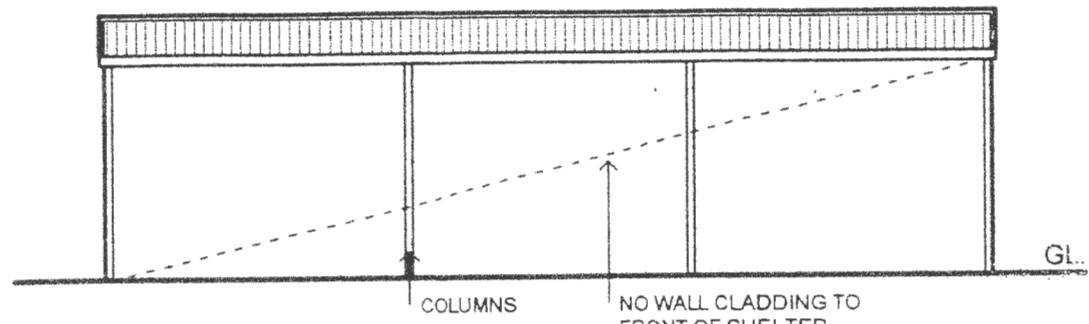
ATTACHMENT 1 - Development Plans

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 25-Feb-2019	FILE 21-50589-1



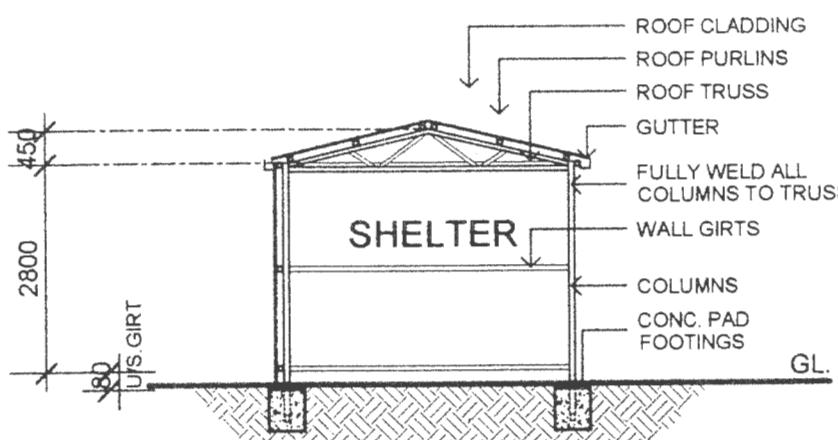
SIDE ELEVATION

1:100



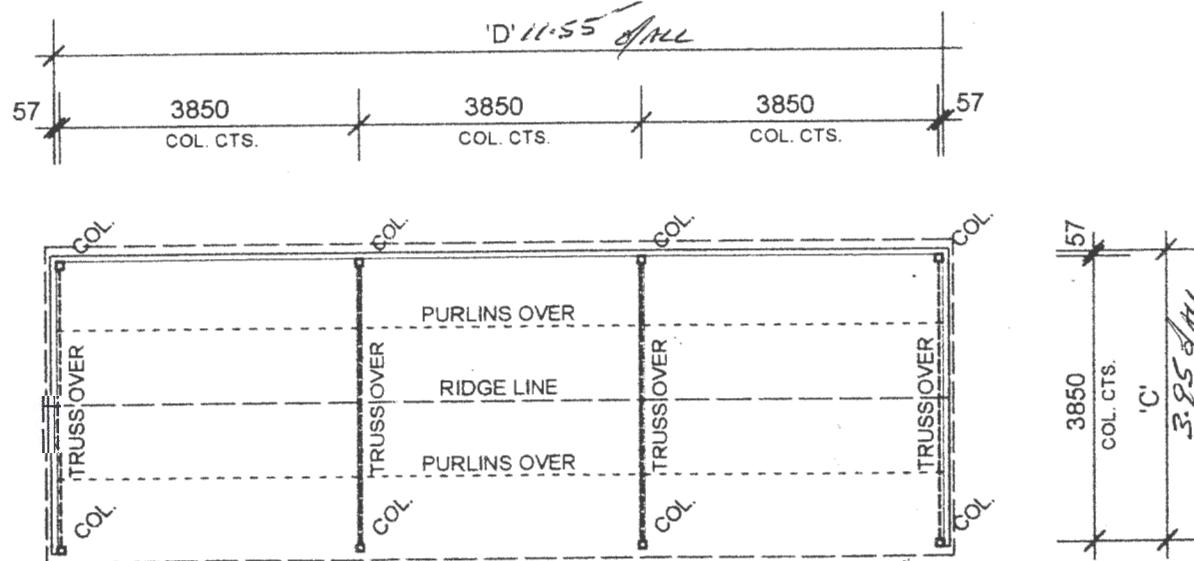
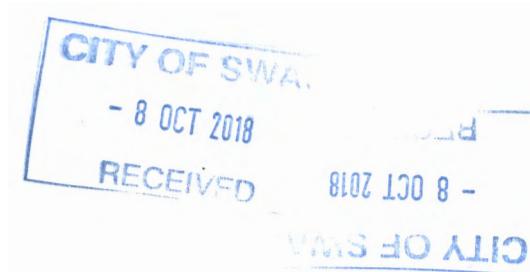
FRONT ELEVATION

1:100



SECTIONAL VIEW

1:100



FLOOR PLAN

1:100

FOOTINGS	concrete pad footings	400x400x450mm deep Concrete 20M pa at 28 days Suitable for class 'M' (AS.2870)
COLUMNS	Maximum Wall Height- Up to 3.0m	65x65x2mm SHS.
Base plate		50x50x3mm SHS x 300mm long welded to columns
TRUSSES	Chords Web members Apex Connection Fly bracing	50x50x1.6mm SHS 50x50x2.5mm Angle. Fully welded 50x50x2.5mm Angle to each lower truss chord
PURLINS/GIRTS	Maximum span 4.0m Maximum span 5.0m	65x65x1.6mm SHS. 100x50x2.0mm SHS.
CLADDING	Trimdeck 0.47 Hi-Ten Purlins Girts	1350mm End Span 1700mm Internal Span 1800mm End Span 2200mm Internal Span
	Corodeck 0.47 Hi-Ten Purlins Girts	900mm End Span 1200mm Internal Span 1350mm End Span 1800mm Internal Span

NOTE:
Plywood, jarrah or fibreglass liner at 1.2mm high to each shelter.
All wall and roof cladding to be fixed in accordance with the manufacturer's specifications
Bridging and bracing to be fixed in accordance with the relevant Australian Standard
Purlins/girts are to be bolted to 2nos. 65x65mm cleats fully welded to truss/columns with 2nos. M12 MS. bolts
Square line gutters used; riveted, silicone sealed and strapped at 1200mm max. cts.
Rainwater pipes installed as required

PADDOCK SHELTER:
MAX. 6 BAYS OF 5.0m *Planning No 015/0322*
Structural Engineer- John Colley (CP. Eng.)
Phone: (08) 9572 1190
Design Wind Speed : 41 MPS
Importance Factor : 0.9
Terrain Category : 2

17-12-17

Proposed shelter :
For : BRENDAN GIELEN
Site: LOT 215 (165) WILLIAM STREET
HERNE HILL
Approximate external dimensions of structure-
(a) Wall height : 2.8 ~ (b) Ridge height : 3.250 ~
(c) Length : 11.55 (d) Width : 3.95 ~

AVALON SHEDS & STABLES

30 RUNYON ROAD,
MIDVALE, WA. 6056

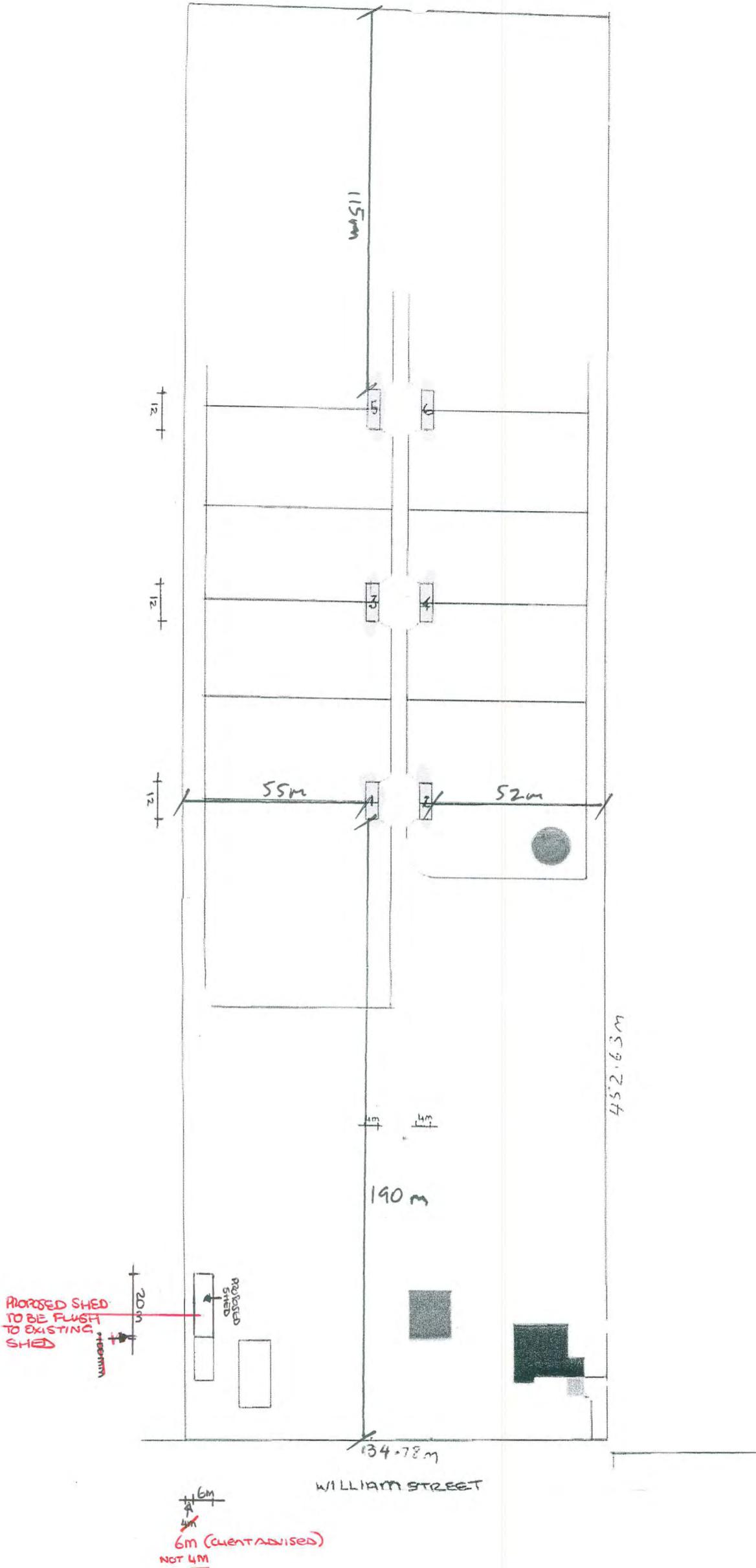
Phone: (08) 9274 7774
Fax: (08) 9274 6909
Email: mail@avalonstables.com.au





DEPARTMENT OF PLANNING, LANDS
AND HERITAGE
DATE FILE
25-Feb-2019 21-50589-1

✓



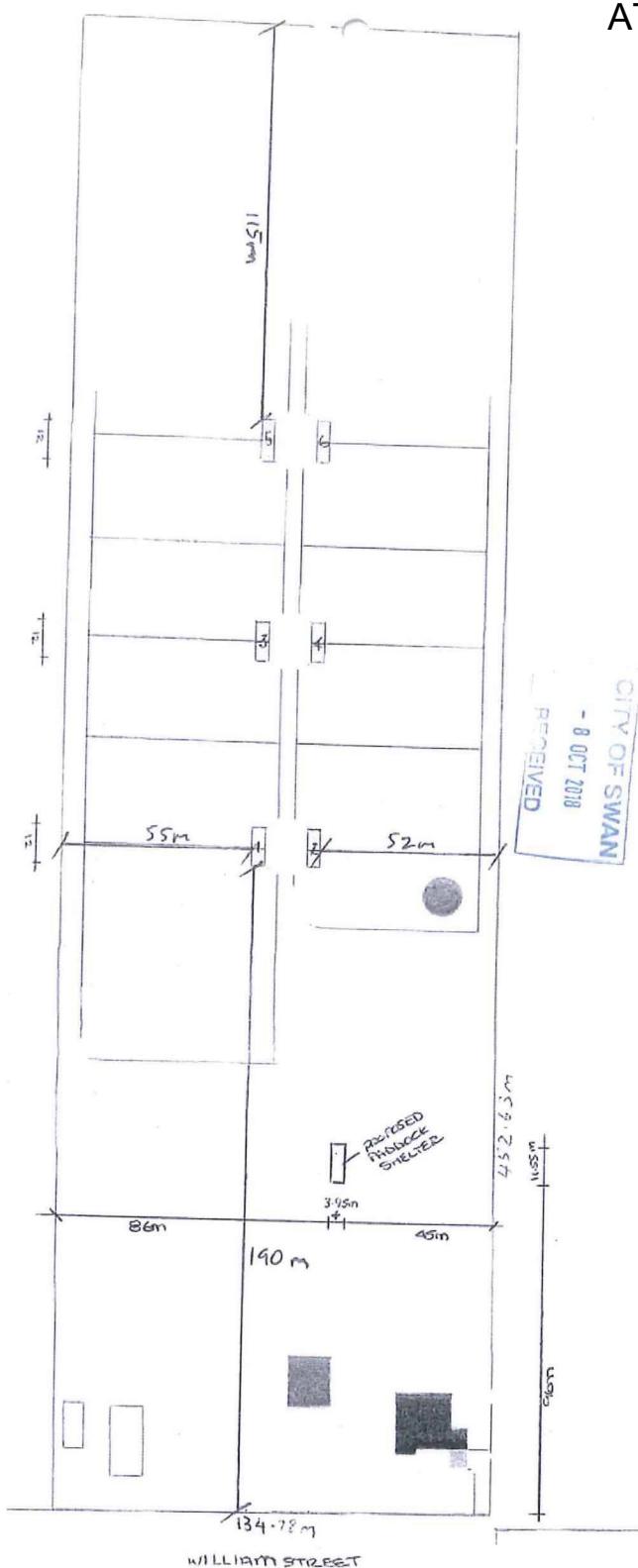
④ PROPOSED STABLES

CLIENT: BRENDAN GLEEN
SITE: LOT 215 & 165 WILLIAM STREET
HERNE HILL
SCALE: 1:1500 @ A3



Amended Site Plan
20. NOV. 18

ATTACHMENT 1 - Development Plans



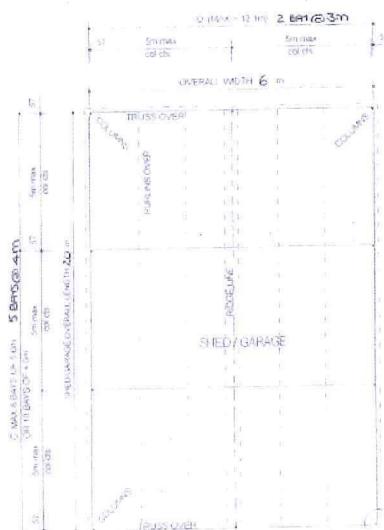
DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 25-Feb-2019	FILE 21-50589-1

CLIENT: Brendana Challen
 SITE: LOT 215 & 165 WILLIAM STREET
 HERNE HILL
 SCALE: 1:1500

ATTACHMENT 1 - Development Plans

**DEPARTMENT OF PLANNING, LANDS
AND HERITAGE**

SECTION



FLOOR ROOF

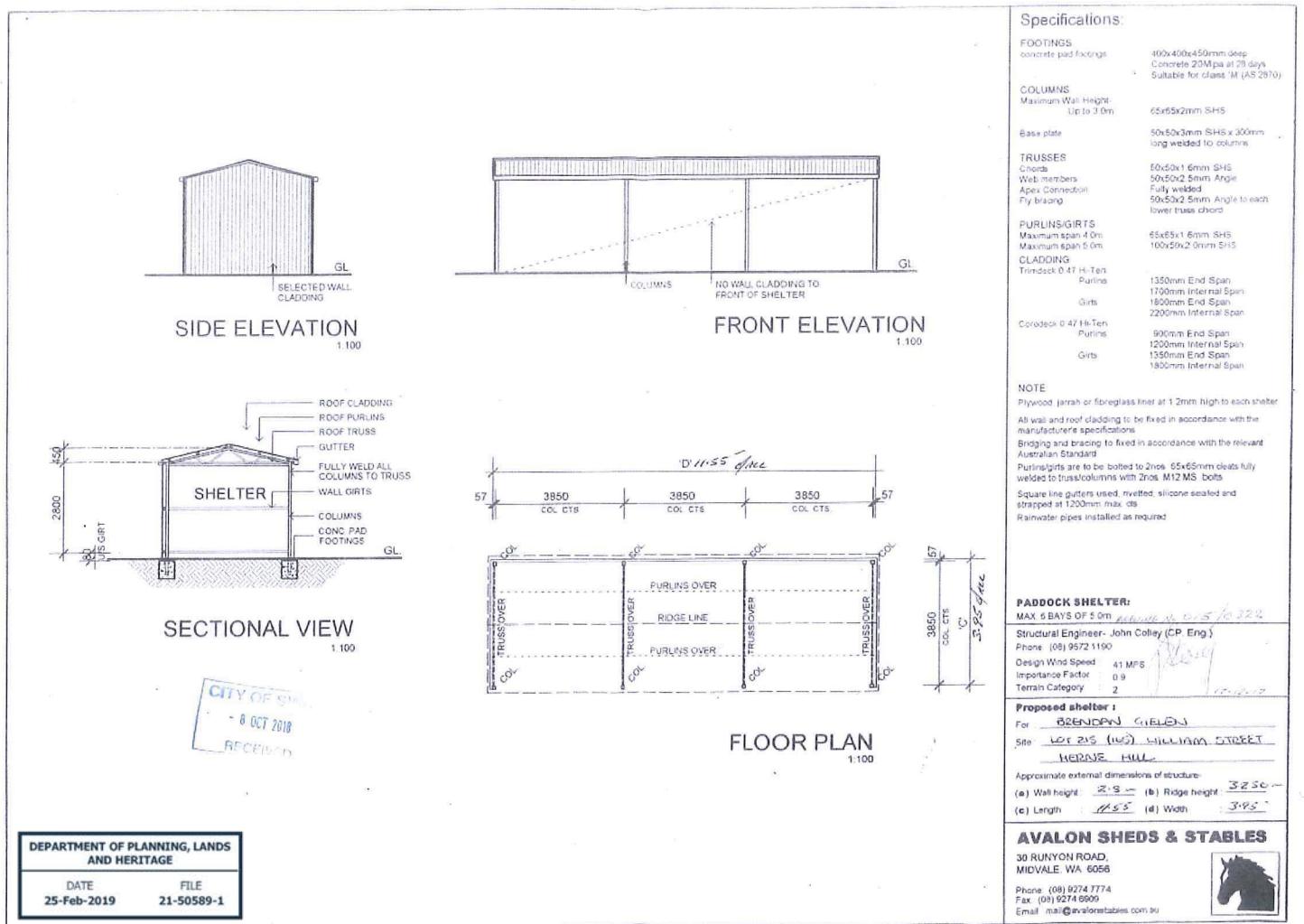
DETAIL B



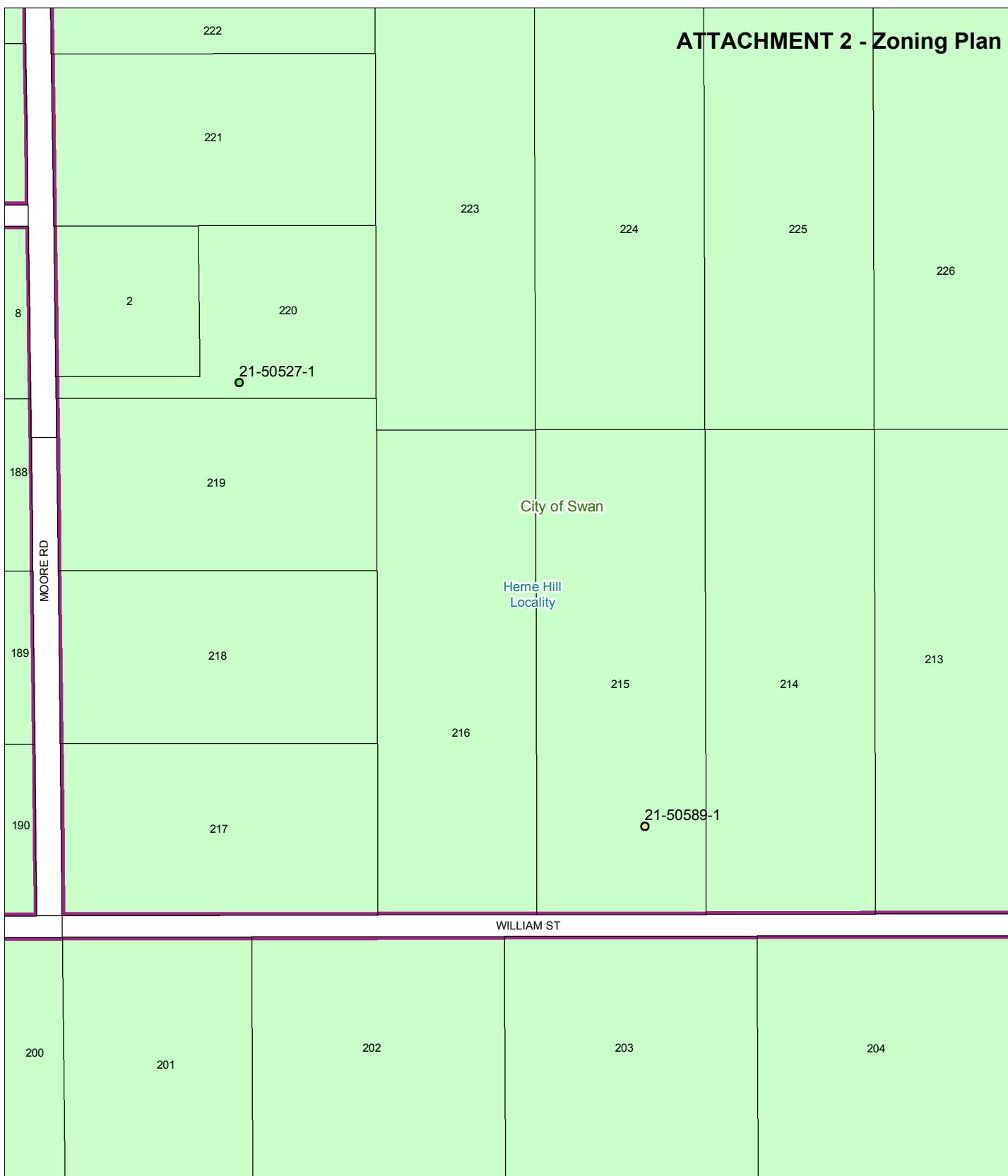
SIDE ELEVATIONS



FRONT AND REAR ELEVATIONS



ATTACHMENT 2 - Zoning Plan



**Location Plan for:
Development Application**

This data is to be used only for the processing of
Development Application

Application Number: **21-50589-1**

Decision: **OUTSTANDING**

Printed: **25/02/2019**

Application Status

- Approved
- Outstanding

Existing LPS Zones and Reserves



Easements and Referrals

Region Scheme Reserves



Produced by Data Analytics,
Department of Planning, Lands and Heritage, Perth WA

Base information supplied by
Western Australian Land Information Authority SLIP 1096-2018-1

Localities & Local Government Boundaries

- Local government boundary
- Locality

